

Commissioner Stavrum moved adoption  
of the following Resolution:

**BOARD OF COUNTY COMMISSIONERS  
COUNTY OF EAGLE, STATE OF COLORADO**

**RESOLUTION NO. 2012 - 067**

**APPROVAL  
OF THE SECOND AMENDED AND RESTATED MOUNT SOPRIS TREE FARM  
PLANNED UNIT DEVELOPMENT GUIDE; HERETOFORWARD RETITLED AS "THE  
CROWN MOUNTAIN PARK PLANNED UNIT DEVELOPMENT"**

**FILE NO. PDA-3103**

**WHEREAS**, on or about December 7, 2010, the County of Eagle, State of Colorado, accepted for filing an application submitted by the Crown Mountain Park and Recreation District (hereinafter "District") for approval of a Planned Unit Development Amendment, File No. PDA-3103; and

**WHEREAS**, on or about December 7, 2010, the Crown Mountain Park and Recreation District submitted to the Eagle County Planning Department a PUD Amendment application (the "PUD Amendment") (Eagle County File Number PDA-3103) to allow, *inter alia*, recreation center facilities to be constructed upon the Crown Mountain Park property and a companion 1041 Permit application (Eagle County File No. 1041-3140) for a major extension of Mid-Valley Metropolitan District's domestic water and wastewater treatment systems and an evaluation of the efficient utilization of a municipal water project to serve the recreation center facilities on the Crown Mountain Park property proposed in the PUD Amendment.

The Amendment proposes to amend the Mount Sopris Tree Farm Planned Unit Development Guide to allow, in addition to uses allowed by the existing PUD Guide, construction of a regional recreation center facility, associated parking, additional pedestrian trails, an ice skating rink, covered tennis courts, and revised dimensional limitations to accommodate construction of these facilities.

The proposed PUD Amendment specifically allows the following improvements upon the Mount Sopris Tree Farm Property (Crown Mountain Park):

- 1) A 61,000 square foot core recreation facility building ;
- 2) A 14,000 square foot gymnastics/fitness recreation center addition;
- 3) A 10,400 square foot 6-lane lap pool.
- 4) A 40,000 square foot indoor ice rink;
- 5) A 36,000 square foot indoor tennis facility.

The foregoing square footages are approximate. Facilities may be up to ten percent (10%) larger or smaller without further County approval; but the total square footage allotted to

recreation center facilities, as specified in the PUD Guide, will not be exceeded, a maximum of 161,400 square feet for recreational buildings.

Four phases are contemplated:

Phase I encompasses the core recreation center, associated utility/infrastructure, associated parking, landscaping, lighting and other improvements.

Phase II encompasses the gymnastics/fitness recreation center addition and the lap pool addition; these are additions to the core recreation center facility.

Phase III encompasses the indoor tennis facility.

Phase IV encompasses an indoor ice rink.

Timing and sequence of the phases of construction will be based upon project funding, whether by voter approved bond issues or from other sources, and customer demand, but the District currently anticipates Phase I construction to begin in 2013 and be completed by the end of 2015. Construction in Phases II, III, and IV of the other facilities is unknown at this time. Construction of the Phases may occur in any sequence and may be built simultaneously so long as Condition 4.b. of this Resolution is satisfied at the time of the first phase constructed; and

**WHEREAS**, development of the recreation center facilities and ancillary parking, trails and vehicular access is to be subject to subsequent Final Design Review plan review as outlined in attached Exhibit A and review thereof by the Roaring Fork Valley Regional Planning Commission and review and approval thereof by the Board of County Commissioners.

**WHEREAS**, at its public hearing held on June 2, 2011, the Roaring Fork Valley Regional Planning Commission, based upon its findings, recommended **denial** of the proposed PUD Amendment; and

**WHEREAS**, at public hearings on June 28, 2011, September 13, 2011, February 7, 2012, and May 22, 2012 the Board of County Commissioners (hereinafter "the Board") of the County of Eagle, State of Colorado, considered the proposed PUD Amendment.

**NOW, THEREFORE**, based on the evidence, testimony, exhibits, and study of the Comprehensive Plan for the unincorporated areas of Eagle County, comments of the Eagle County Planning Department, comments of public officials and agencies (inclusive of the comments and recommendations from the Town of Basalt in its correspondence dated April 26, 2011, as well as, the comments and recommendations from Pitkin County in its correspondence dated April 13, 2011), the recommendation of the Planning Commission, and comments from all interested parties, the Board of County Commissioners of the County of Eagle, State of Colorado, finds as follows:

1. That proper publication and public notice **was provided** as required by law for the hearings before the Planning Commission and the Board.
2. **Pursuant to *Eagle County Land Use Regulations* Section 5-240.F.3.e. Standards for the review of a PUD Amendment:**

- (1) ***Unified ownership or control.*** The title to all land that is part of this PUD IS owned or controlled by one (1) person and/or entity. The real property affected by the PUD Amendment is land owned by Eagle County and which is, or will be in the future, leased on a long term basis to the Crown Mountain Park and Recreation District.
- (2) ***Uses.*** The uses that may be developed in the PUD shall be those uses approved in the original PUD approval by the Board of County Commissioners of Eagle County as set forth in Resolution No. 2005-021 (Eagle County File No. PDA-00055) and as approved by this PUD Amendment, which ARE consistent with those designated as uses that are allowed, allowed as a special use or allowed as a limited use in Table 3-300, "Residential, Agricultural and Resource Zone Districts Use Schedule", or Table 3-320, "Commercial and Industrial Zone Districts Use Schedule", for the zone district designation in effect for the property at the time of the application for PUD.
- (3) ***Dimensional Limitations.*** The dimensional limitations that shall apply to the PUD **ARE NOT** as specified in Table 3-340, "Schedule of Dimensional Limitations", for the zone district designation in effect for the property at the time of the application for PUD. Variations of these dimensional limitations, as proposed, **HAVE BEEN** authorized pursuant to Section 5-240 F.3.f., Variations Authorized
- (4) ***Off-Street Parking and Loading.*** Off-street parking and loading provided in the PUD shall comply with the standards of Article 4, Division 1, Off-Street Parking and Loading Standards. The Board of County Commissioners has approved a phased parking plan, specific to the recreation center facilities, to minimize paved surface parking to the extent practicable until such time that demand for additional parking is warranted.
- (5) ***Landscaping.*** It **HAS** been demonstrated that landscaping provided in the PUD **DOES** comply with the standards of Article 4, Division 2, Landscaping and Illumination Standards.
- (6) ***Signs.*** The sign standards applicable to the PUD **ARE** as specified in Article 4, Division 3, Sign Regulations.
- (7) ***Adequate Facilities.*** As conditioned, it **HAS BEEN** demonstrated that the development proposed in the PUD Amendment will provide adequate facilities for potable water supply, sewage disposal, solid waste disposal, electrical supply, fire protection and roads and will be conveniently located in relation to schools, police and fire protection, and emergency medical services.
- (8) ***Improvements.*** As conditioned, the applicable improvements standards for the Crown Mountain PUD will provide for safe, efficient access, logical and convenient internal pathways, unhindered emergency vehicle access, smooth vehicular and pedestrian circulation, and sufficient snow storage.
- (9) ***Compatibility with Surrounding Land Uses.*** All aspects of the development proposed within the PUD **ARE** compatible with the character of surrounding land uses.

- (10) **Consistent with Comprehensive Plan.** As conditioned, the proposed PUD Amendment **IS** consistent with all stated purposes, goals, objectives and policies of applicable master plans.
- (11) **Phasing.** The phasing plan provided by the District **IS** sufficient for this development.
- (12) **Common Recreation and Open Space.** The common recreation and open space standards with respect to: (a) Minimum area; (b) Improvements required; (c) Continuing use and maintenance; or (d) Organization will not be altered by this proposed PUD Amendment.
- (13) **Natural Resource Protection.** The PUD Amendment **DOES** demonstrate that the recommendations made by the applicable analysis documents available at the time the application was submitted, as well as the recommendations of referral agencies as specified in Article 4, Division 4, Natural Resource Protection Standards, have been considered in the design.

3. **Pursuant to Eagle County Land Use Regulations Section 5-240.F.3.m Amendment to Preliminary Plan for PUD:**

- (1) **Amendment to Preliminary Plan for PUD** [Section 5-240.F.3.m.] – *No substantial modification, removal, or release of the provisions of the plan shall be permitted except upon a finding by the County, following a public hearing called and held in accordance with the provision of Section 24-67-104(1)(e) Colorado Revised Statutes that:*

*(a) Modification. The modification, removal, or release is consistent with the efficient development and preservation of the entire Planned Unit Development;*

*(b) Adjacent Properties. The PUD Amendment does not effect, in a substantially adverse manner, either the enjoyment of land abutting upon or across a street from the Planned Unit Development or public interest;*

*(c) Benefit. The PUD Amendment is not granted solely to confer a special benefit upon any person.*

The Board of County Commissioners hereby finds that the application meets the PUD Amendment criteria set forth above.

**NOW, THEREFORE, BE IT RESOLVED** by the Board of County Commissioners of the County of Eagle, State of Colorado:

**THAT**, this SECOND AMENDED AND RESTATED MOUNT SOPRIS TREE FARM PLANNED UNIT DEVELOPMENT GUIDE; HERETOFORWARD RETITLED AS “THE CROWN MOUNTAIN PLANNED UNIT DEVELOPMENT”, Eagle County File No. PDA-3103 (attached as Exhibit ‘C’ to this Resolution) be, and is hereby **approved** with the following **conditions**:

- 1) Except as otherwise modified by this development permit, all material representation made by the District in this application and in public meetings shall be adhered to and considered conditions of approval.
- 2) The PUD Amendment approved hereby shall be deemed a site specific development plan within the meaning of applicable state statutes and County Land Use Regulations and to have created a vested property right to develop the property in accordance with the proposed PUD Amendment as approved hereby, provided, however, that if:
  - a. Crown Mountain Park and Recreation District (the "District")
    - (i) Has not secured funding, either by voter approval of a ballot question providing for issuance of bonds to finance the development of Phase 1 contemplated by the PUD Amendment or by commitment for such funding from another source, by January 1, 2018, or
    - (ii) Has not obtained a building permit for Phase 1 of the development by January 1, 2023; or
  - b. The County and the District have not been able to agree, following good faith negotiations, on the portion of the cost of Segment A (the "West Leg" of Valley Road) to be borne by the County and the District as provided in Conditions 4(e) and 5(b) of this Resolution by the time the District applies for a building permit for construction of Phase 1; or
  - c. The County and the District have not been able to agree, following good faith negotiations, on the satisfaction of CDOT permit conditions as contemplated by Condition 5(b) hereof before the District applies for a building permit for Phase 1,

then the County may initiate extinguishment proceedings as contemplated by Land Use Regulation 5-210(I) as the same may have been modified at the time of such initiation. In such extinguishment proceedings, the Board may elect, by Resolution, to continue in force and effect the District's vested property rights to develop the property in accordance with some but not all of the provisions of this PUD Amendment Resolution for such period of time as it may determine in such proceedings, or it may determine that the PUD Amendment shall be extinguished in its entirety. In the event of a determination that complete extinguishment is appropriate, the PUD Plan and zoning in effect prior to adoption of this Resolution shall remain in effect.

- 3) The Board of County Commissioners hereby approves the document attached hereto as Exhibit A, which represents the conceptual approvals by the Board of County Commissioners as part of this PUD Amendment process and sets forth

the future Final Design Approval Process required as part of this PUD Amendment approval.

- 4) The Board of County Commissioners of Eagle County has conceptually approved a new design for the State Highway 82/El Jebel Road/Valley Road/Sopris Drive intersections. A copy of the conceptually approved plan is set forth as attached Exhibit B. Eagle County is currently in the process of proceeding with Final Design of such intersection. The District, Crown Mountain Park and Recreation District, agrees:
  - a. Upon the issuance of a Notice to Proceed by Eagle County for Final Design for such intersection, to provide to the County the sum of \$50,000.00 as a contribution for such design work.
  - b. Before obtaining a Building Permit, or other applicable permit(s) for commencement of any Phase of the Development, the District shall fund construction of Segment A (the “West Leg” of Valley Road) of the redesigned Valley Road/Sopris Drive intersection plus change orders during construction, provided that in the event funding for such development is from sources other than voter-approved financing, the District may seek County approval for such commencement without complying with the foregoing provision of this Condition 4) b or the following provision 4) c. Such Segment A funding shall be transmitted to Eagle County at such time as the balance of the intersection of Valley Road and Sopris Drive is constructed by Eagle County and/or others. Such Segment shall be constructed as designed pursuant to paragraph a, above, unless otherwise mutually agreed by the County and the District in the future. Such construction shall include all trails, pedestrian connectivity and crossings, and related infrastructure costs including demolition and re-vegetation.
  - c. In the event the District desires to proceed with any Phase of the Development prior to the construction of the entire Valley Road/Sopris Drive intersection by Eagle County shown on Exhibit B, the District shall at such time as it commences such construction escrow in an interest bearing escrow account with the County sufficient funds to construct Segment A. The amount of such escrow shall be determined based upon the Engineering Cost Estimate, which includes standard contingencies plus ten percent (10%) contingency for the construction of Segment A at the time the escrow is funded, as approved by the Eagle County Engineer. Such funds shall be released to Eagle County upon the earlier of:
    - (i) five years of the date of creation of such escrow; or
    - (ii) Upon the issuance by Eagle County of a Notice to Proceed with the construction of the redesigned Valley Road/Sopris Road intersection.

- d. The current plan for the redesign of the State Highway 82/El Jebel Road/Valley Road/Sopris Drive intersection is as set forth on Exhibit B. In the event Eagle County modifies the intersection plans in a manner which eliminates or modifies Segment A shown on Exhibit B, the County and the District shall negotiate in good faith to modify the provisions of this paragraph.
  - e. Notwithstanding the provisions of Conditions 4(b) and 4(c) hereof, the County acknowledges that Segment A also serves as the entrance to the Eagle County Annex constructed in 2002 within Crown Mountain Park, as shown on the Applicant's site plan attached hereto as Exhibit A, which Annex itself generates traffic into and out of the Park. Accordingly, it is deemed appropriate that the County bear some portion of the cost of such Segment. At such time as the District is prepared to proceed with any phase of development pursuant to the PUD Amendment, the District and the County shall negotiate in good faith to try to reach agreement on a percentage contribution that would be appropriate for the County to make toward the cost of Segment A, with the District's obligations as set forth in conditions 4(b) and 4(c) hereof reduced accordingly.
- 5) a. CDOT Access Permit. Prior to the construction of any Phase, Crown Mountain Park and Recreation District shall prepare an Application for a CDOT Access Permit in the name of and on behalf of Eagle County, subject to approval by the County Engineer. The Crown Mountain Park and Recreation District shall bear the cost of preparing and pursuing approval of such access permit and shall be responsible for compliance with the conditions of such approval.
- b. The County acknowledges that it is not its intent to require the District, as part of its compliance with Condition 5, to bear the cost of the construction of the entirety of the proposed revised intersection as shown on Exhibit B; rather, the District's contribution to such costs shall be limited as described in Condition 4. To the extent that the CDOT permit contains conditions that require the construction on the Crown Mountain Park of more than Segment A, or to accelerate the construction of Segment A, the County will negotiate in good faith with the District to satisfy such conditions at no additional cost to the District, except to the extent contemplated by Condition 4 hereof.
- 6) All recommendations and requirements of the Basalt & Rural Fire Protection District in its letter dated April 19, 2011, as follows, must be addressed and incorporated into the recreation center facility plans, and approved by the Board of County Commissioners in the Final Design Review process based upon recommendations of the Fire Marshal.
- a. Primary access to the recreation center facilities via the existing Crown Mountain Park ingress/egress is satisfactory. An unobstructed secondary

point of ingress/egress is required. The general proposed location west of the recreation center facility site off of Valley Road is acceptable. Two points of access are required for the department aerial. The two points are described as the center maintenance access off of Valley Road and the other located at the front, southwest corner of each respective phase of development. These access points must be a hard surface with road design capable of handling the imposed loading of a 75,000 pound apparatus.

- b. Adequate water flow for firefighting is available to the premises provided the recreation center facility is sprinkled throughout with an NFPA 13 designed automatic suppression system and the construction is of Type II-B or greater construction as defined in the International Building Code. An additional hydrant is needed on the north side of the building near the maintenance access ways. The other depicted hydrants on the civil drawings are adequate and acceptable. The FPD connection to the automated fire sprinkling system is to be located on the Valley Road side of the building between the maintenance access points.
  - c. A fire alarm system in compliance with the applicable sections of the International Fire and Building Code is required. The installation of this system will meet NFPA 72; the fire alarm installation is standard.
  - d. At the time of building permit application, a Hazardous Materials Management Plan for the Pool Facility; which is satisfactory to the Basalt & Rural FPD, will be required.
- 7) All recommendations of the Colorado Geological Survey set forth in the letter dated April 7, 2011, as follows, must be satisfied and incorporated into the recreation center facility plans, and approved by the Board of County Commissioners in the Final Design Review process based upon recommendations of the County Engineer.
- a. According to existing geologic maps and the geotechnical report submitted with the application, the site is underlain by gravel alluvium that overlies evaporate bedrock. The greatest risk from geologic hazards is subsidence from dissolution of bedrock.
  - b. Several ground surface depressions are present on the site; however, no sinkholes were observed. According to the geotechnical engineer, the risk of ground subsidence is low, but there is some risk for sinkhole development. They recommend that water infiltration into the subsoils be limited to help limit the risk of future ground subsidence.
  - c. In a previous report done for the Tree Farm property, the geotechnical report makes special note of a large depression. The report notes that the depression may be due to active subsidence due to dissolution of bedrock and



recommends that before development occurs, near or over the depression, additional testing and investigation be completed.

- d. It appears that one or more of the soccer fields will be located over the large depression. The geotechnical report was done in 2004 and it is not known if the geotechnical engineer has reviewed the current proposal. In either case, it would be prudent to evaluate the potential for subsidence before relocating the soccer fields.
  - e. The geotechnical engineer also notes that infiltration of water into the soils adjacent to the escarpment could cause slope instability. Surface runoff should not be concentrated and allowed to discharge onto steep slopes without adequate protection.
  - f. Soil tests show that parts of the site contain soil high in clay and silt. Clay and silt soil particles are very fine, once suspended in runoff, they cannot effectively be removed using standard sediment control measures like silt fence. Runoff from such soil often creates offsite water quality issues. It will be important that any bare soil be protected against erosion throughout the site development and construction process.
  - g. The park has been designed so that major structures are located away from subsidence hazards. In order to ensure that the soccer fields perform as designed, additional investigation into potential subsidence hazards is warranted.
- 8) Prior to application for a building permit for any of the recreation center facilities and ancillary infrastructure, Crown Mountain Park and Recreation District shall first complete the Final Design Plan Review process and receive Board of County Commissioner approval with recommendation from the Roaring Fork Valley Regional Planning Commission. The Final Design Review procedure is attached as Exhibit 'A' to this Resolution.
- 9) Prior to any site disturbance for the uses approved herein, all applicable permits and approvals shall be secured and the County and the District shall enter into an appropriate Public Improvements Agreement relating thereto.

THAT, the Board of County Commissioners directs the Planning Department to provide a copy of this Resolution to the District.

THAT the Board further finds, determines and declares that this Resolution is necessary for the health, safety and welfare of the inhabitants of the County of Eagle, State of Colorado.

MOVED, READ AND ADOPTED by the Board of County Commissioners of the County of Eagle, State of Colorado, at its regular meeting held this 19 day of July, 2012.



COUNTY OF EAGLE, STATE OF COLORADO, By  
and Through Its BOARD OF COUNTY  
COMMISSIONERS

ATTEST:

BY:

*Teak J. Simonton*  
Teak J. Simonton  
Clerk to the Board of  
County Commissioners

BY:

*Peter F. Runyon*  
Peter F. Runyon, Chairman

BY:

*Jon Stavney*  
Jon Stavney, Commissioner

BY:

*absent*  
Sara J. Fisher, Commissioner

Commissioner *Runyon* seconded adoption of the foregoing resolution. The roll having been called, the vote was as follows:

Commissioner Peter F. Runyon  
Commissioner Jon Stavney  
Commissioner Sara J. Fisher

*Run*  
*Run*  
*Run*

This Resolution passed by *2/0* vote of the Board of County Commissioner of the County of Eagle, State of Colorado.

**EXHIBIT A to PUD and 1041 Crown Mountain Park Approval Resolutions**

**Crown Mountain Park PUD & 1041  
Design Review**

## **Design Review with Eagle County for Crown Mountain Park**

### **Purpose and Intent.**

During the Eagle County Commissioners (BOCC) review of the Crown Mountain Park PUD amendment application, discussion has taken place about a design review process to be used to evaluate the details of the proposed new facilities including the recreation center. Crown Mountain proposed a two-step process to the Commissioners that is outlined below. The Eagle County Commissioners agreed to this approach that is part of the approval resolution for the Crown Mountain PUD and 1041 applications.

The purpose and intent of this narrative is to document the design planning topics and their scope that were accepted by Eagle County for *conceptual approval* as part of the public hearing process. This narrative will provide a historic record of the conceptually approved items.

This document is to set forth the conceptual approvals by the BOCC and is intended to be used in conjunction with the Crown Mountain PUD Amendment Application and, as applicable, the 1041 Application. In the event of conflict between this Design Review Document and the PUD/1041 Applications, the approvals granted by the Eagle County Commissioners and those approvals associated with this Design Review document at the conclusion of the current 2012 hearing process shall prevail. Availability of funding for the proposed improvements to Crown Mountain Park will determine the scope and nature of all site construction. Funding sources for the improvements may include voter approval of financing, donations, grants and/or other support options.

### **Procedures.**

#### **First Step - Conceptual Approval by BOCC during this PUD and 1041 hearing process.**

Items described in this document set forth the conceptual approvals by the Eagle County BOCC for the Crown Mountain Park PUD and 1041 applications. Such approvals will provide the necessary direction to Crown Mountain Park (CMP) to allow development of detailed final designs that will be submitted to ECO for approval as part of the Final Design step.

#### **Second Future Step - Final Design Approval with the Roaring Fork Planning Commission (RFVRPC) and BOCC for prior to issuance of building permit.**

Prior to issuance of a building permit, Crown Mountain will submit final design details for each of the topic areas enumerated in this document that will be subject to recommendation by the Roaring Fork Valley Regional Planning Commission (RFVRPC) to the BOCC. The BOCC will make the final decision on these items at a public hearing. Architectural level detail for the recreation center or other future buildings shown on the Figure I site plan will be sufficient in detail to allow the RFVRPC and the BOCC to understand the look, color, materials, texture, orientation and specular qualities of the exterior of the structures. In any case, the Architectural

submittals will not exceed Schematic Design level detail, so that CMP will not incur excessive costs associated with any redesigns that might be required by the BOCC. The review by the RFVRPC and final decisions of the BOCC are to be based upon consistency with the conceptual approvals described in this document and granted during this PUD amendment process.

The final design approval process will provide adequate information for the RFVRPC to make a recommendation to the BOCC and for the BOCC to make a final decision without forcing CMP through a time consuming review that largely duplicates the current hearing process. Crown Mountain will submit the final designs to RFVRPC and BOCC for Final Design Approval prior to issuance of building permit.

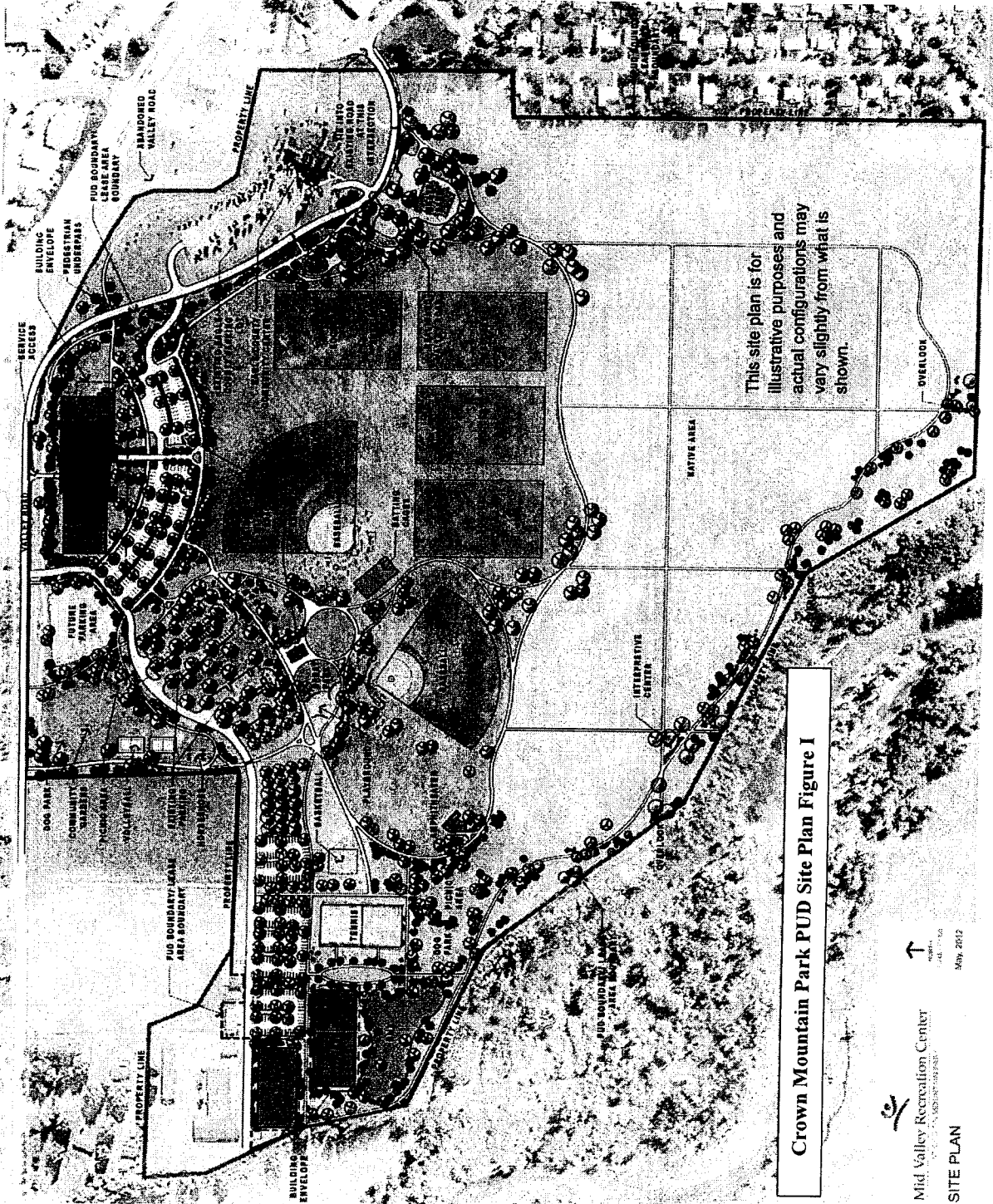
**Conceptual Approval on the following items in this hearing process.**

**1. Site location - Preferred site plan identified in the PUD Amendment hearing process.**

The details of the site plan selection process are described in the original Crown Mountain PUD amendment application. A comprehensive site selection and analysis was also conducted by the consulting team in April 2010 with the primary purpose of determining an optimal site for the recreation center based upon a set of site parameters. Twenty-four sites were evaluated within 1/4 mile of Highway 82 in Eagle County that had a minimum of five acres of developable space. In addition, six on-site locations were evaluated before the following site was chosen. Four of these on site locations were evaluated and discussed in the original PUD amendment application. Two additional on-site options were analyzed at the request of the Eagle County Commissioners. The preferred site approved by the BOCC shows the minimum necessary parking for Phase 1 of the recreation center. This parking design provides for shared parking at the Eagle County building and parking in the lot immediately South West of the recreation center. CMP shall have the right to phase in expanded parking to the number of spaces to the maximum allowed (254) originally presented in the PUD Amendment Application as user demand dictates and to ensure functional operation of the recreation center.

The site plan shown in Figure I is the plan hereby approved by the Eagle County BOCC in 2012 as part of the Crown Mountain PUD amendment application hearing process.

Crown Mountain Park PUD Site Plan Figure I



**2. Site circulation & access - vehicles, pedestrians, bikes**

Site circulation shown on the site plan (Figure I) is designed to accommodate logical and efficient vehicular access with a special emphasis on bicycle and pedestrian circulation. The final design of roadway connections from the Recreation Center to a reconfigured Valley Road intersection will be determined through an intersection design process to be completed by Eagle County in 2012. Crown Mountain will work with Eagle County to achieve 25 mile per hour vehicle design speeds and will work to minimize roadway encroachments on the park. Through this roadway design process, Crown Mountain Park will pursue a goal of conforming to design speeds similar to those in the adjoining municipal area of Basalt and in unincorporated Sopris Village.

An underpass on relocated West Valley Road between the Eagle County Building parking lot and Crown Mountain Park will provide safe off-highway access for pedestrians and other non-motorized traffic accessing the site. This underpass will be built as part of Phase I Recreation Center construction if and when West Valley Road is reconstructed as shown on Exhibit 1 in this document. The access drive shown in the original PUD Amendment application south of the Recreation Center parking lot will not be constructed and is replaced by "Segment A" of the relocated West Valley Road that will tie in with the original road alignment on the north side of the recreation center if the intersection shown in Exhibit 1 is constructed by Eagle County. Segment A is shown on the site plan (Figure 1) as the new road, south of the Eagle County building. The final design on Segment A will be determined through the intersection design process that will be completed by Eagle County in 2012.

**3. Setbacks - defined by site plan**

Setbacks for the project are defined by the approved PUD dimensional limitations shown below, which were included in the original PUD amendment application. In addition, the site plan shows the location of all proposed structures on the property and the site plan will govern building placement and the corresponding setbacks which are consistent with the dimensions set forth in the following table of PUD dimensional limitations. Each new proposed building on the property will be located within defined building envelopes shown on the site plan. This methodology will allow minor movements of the building within the envelopes to optimize siting and building construction. The envelopes will maintain the existing 50-foot minimum property line setback.

PUD Dimensional Limitations

Minimum Lot Area per Use <sup>(6)</sup>	Maximum Lot Coverage (Net Developable Land) <sup>(1)</sup>	Maximum Floor Area Ratio <sup>(2)</sup>	Minimum Front Yard Setback <sup>(3)(7)</sup>	Minimum Rear Yard Setback <sup>(3)(7)</sup>	Minimum Side Yard Setback <sup>(3)(7)</sup>	Minimum Stream Setback <sup>(4)</sup>	Maximum Height <sup>(5)</sup>

35 Acres	Recreational buildings = 161,400 Square Feet	15:1	50 feet	1,000 feet <sup>(7)</sup>	20 feet	500 feet	50 <sup>(8)</sup> feet
35 Acres	Non-recreation government buildings = 76,059 Square Feet	15:1	50 feet	1,000 feet <sup>(7)</sup>	20 feet	500 feet	50 <sup>(8)</sup> feet

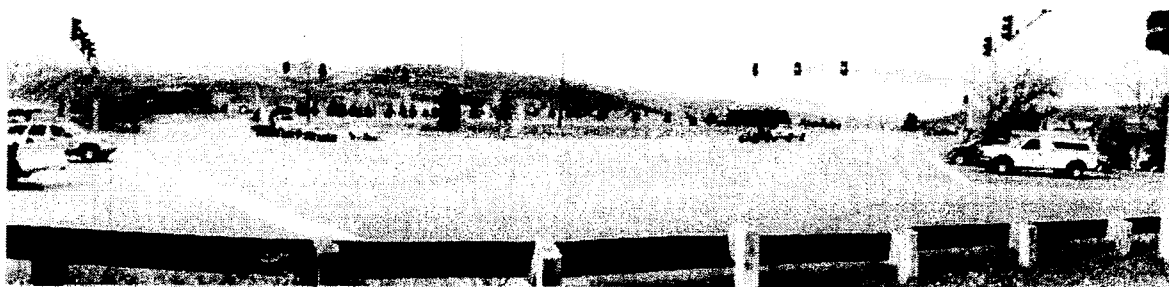
**Impervious Surfaces = 25%**

- <sup>(1)</sup> Based on the letter from the US Forest Service (Attachment J in PUD Application) and Mark Fuller (Attachment K in PUD Application) clarifying that the additional lot coverage requested in this application conforms to the stated intent of Congress.
- <sup>(2)</sup> Based on the ratio of maximum lot coverage by gross land mass.
- <sup>(3)</sup> All setbacks are based on the location of the proposed government and existing buildings, as well as prior master planning efforts.
- <sup>(4)</sup> The stream setback is based on the passive/active recreation delineation contained within the PUD Plan
- <sup>(5)</sup> Maximum Height is consistent with the "Resource" underlying the zone district or as modified by the approved Crown Mountain PUD Amendment.
- <sup>(6)</sup> Use shall mean all recreational activities within the Crown Mountain Site and Depicted on the 2010 Amended PUD Plan.
- <sup>(7)</sup> Setbacks shall not apply to buildings located within defined building envelopes depicted on the PUD Plan. All buildings shall be located within the designated building envelopes depicted on the PUD Plan included with this submittal.
- <sup>(8)</sup> Exceptions to height regulations. Chimneys, spires, turrets, HVAC equipment and similar projections may extend above the building height a maximum of 6 feet provided, however, such features collectively do not represent more than twenty (20) percent of the total horizontal roof line.

The following Figures II, III & IV show massing views of the recreation center. Figures II and III show the building viewed from the northeast corner of the El Jebel intersection looking southwest and looking directly west from the southeast corner of the intersection. Figure IV is a perspective looking southeast from East Valley Road. Figure V is an elevated view looking northwest across the parking lot to the recreation center building.



Figure II



VIEW FROM THE INTERSECTION OF THE ABOVE ROAD AND WY 421 LOOKING NORTHWEST

Figure III



VIEW FROM THE INTERSECTION OF WY 421 AND WY 421 LOOKING WEST

  
Montana Department of Transportation



VIEW FROM VALLEY ROAD LOOKING EAST

Figure IV

  
Mid Valley Recreation Center  
RECREATION CENTER

SELECTIVE VIEWS

5/15/12

Figure V and VI are illustrations of the Phase I recreation center structure



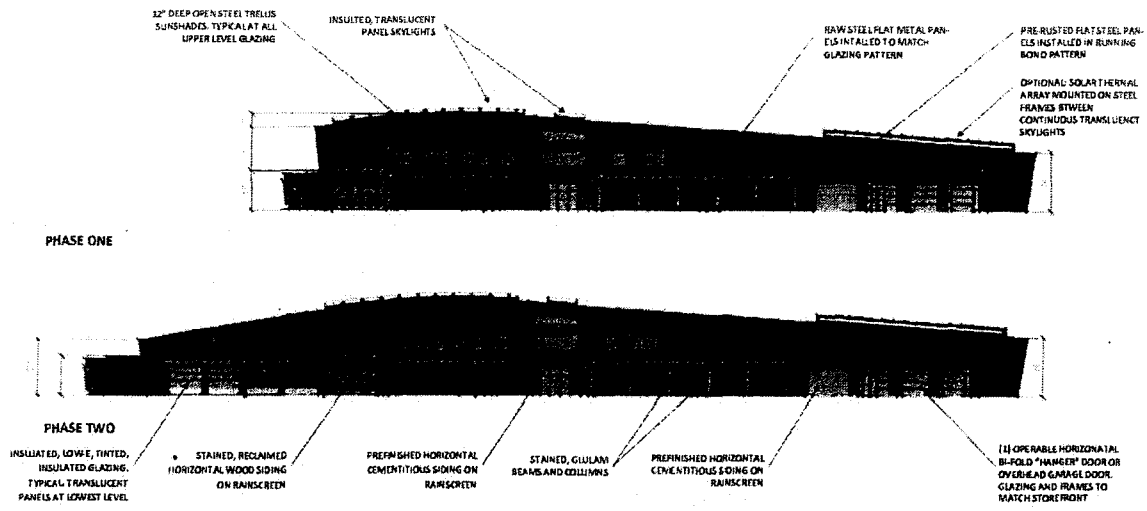
Figure V

  
Mid Valley Recreation Center  
RECREATION CENTER

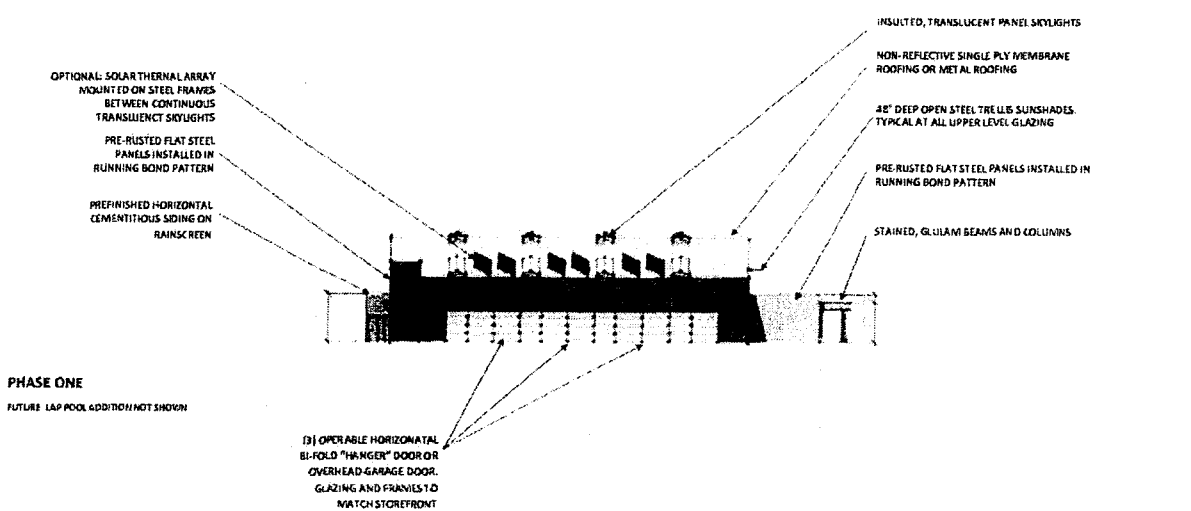
SELECTIVE VIEWS

5/15/12





Mid Valley Recreation Center  
 Figure VIII



Mid Valley Recreation Center  
 Figure IX

### Exterior Finishes and Materials

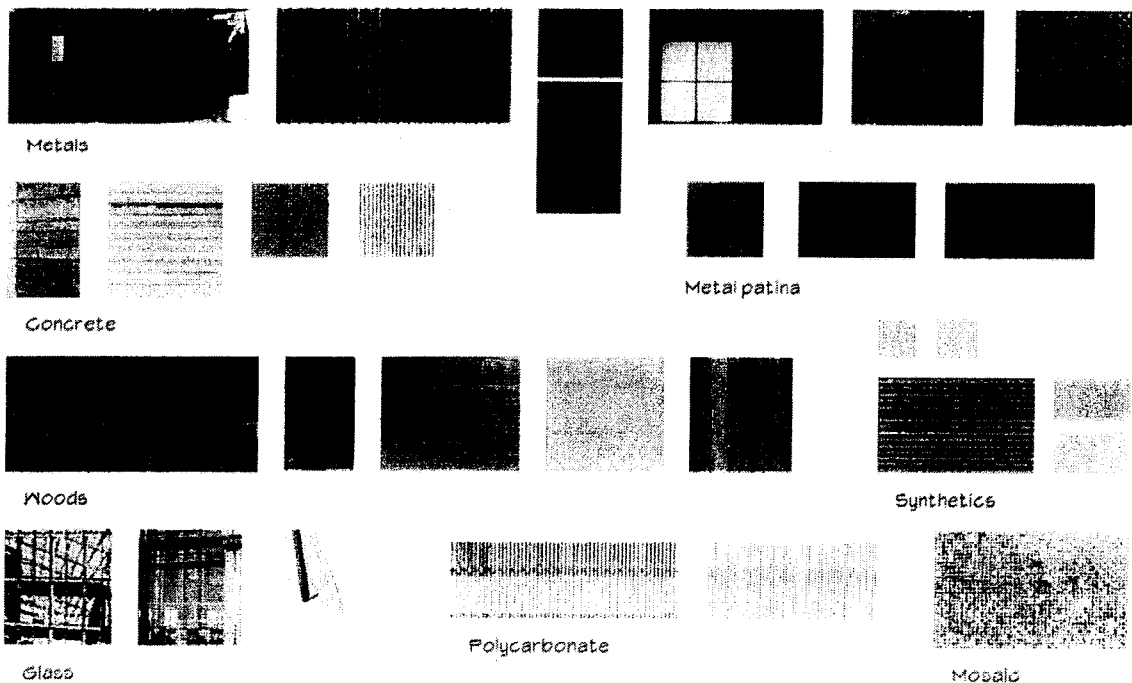
#### Exterior Walls, Windows, Trellises, Solar Panels

Exterior walls are clad with pre-rusted metal panels, pre-finished raw steel panels, recycled stained wood siding, integral color cement board siding and stained recycled wood columns. The overhangs are composed of open steel trellises.

The window system is thermally broken, anodized aluminum with non-reflective, insulated, low-e coated glazing. The West wall of the natatorium (swimming pool area) will have large operable glass openings with either horizontal bi-fold door or overhead doors appropriate for a humid, corrosive environment. These will be glazed with both clear and translucent polycarbonate material in lieu of the solely fixed glazing shown in the illustrations. The skylights shown will be insulated translucent material in thermally broken aluminum frames.

The trellises and overhangs are to be steel for sun control where indicated, exterior porches and patios to be stained patterned concrete.

Solar Panels PV and hot water solar panels are to be mounted on exposed metal framing.



*Roof materials and color palette.*

The roofing material for the main roof will be a fully adhered membrane or another acceptable product designed for proper function and longevity. The goal is to provide a material and color that minimizes reflected sunlight glare and is as low heat absorbing as possible. The roofing material at low roof area is to be primarily a loose laid membrane system ballasted with smooth river rock. Select, limited areas over the party rooms and child watch rooms may have a “green roof” vegetated roof system. The roof color(s) will be presented to the RFVRPC and BOCC during the final design review process, but will not include colors or materials that cause unnecessary heat gain.

*Building Entrance*

The main building entrance is on the south side of the recreation center. Other access points on the recreation center are for egress purposes or access to patio areas adjacent to the building. The concept design for the buildings provides 30% transparent glass on the ground-level façade.

Figures X and XI show the recreation center Phase 1 Conceptual Recreation Centre floor plan layouts. The concept design for the buildings does not include blank wall sections longer than 50 feet adjoining sidewalks. The conceptual design elevations depict windows, doors and building articulation to add interest and breakup longer wall sections. The floor plan may be modified in the Final Design Review process in CMP’s discretion.

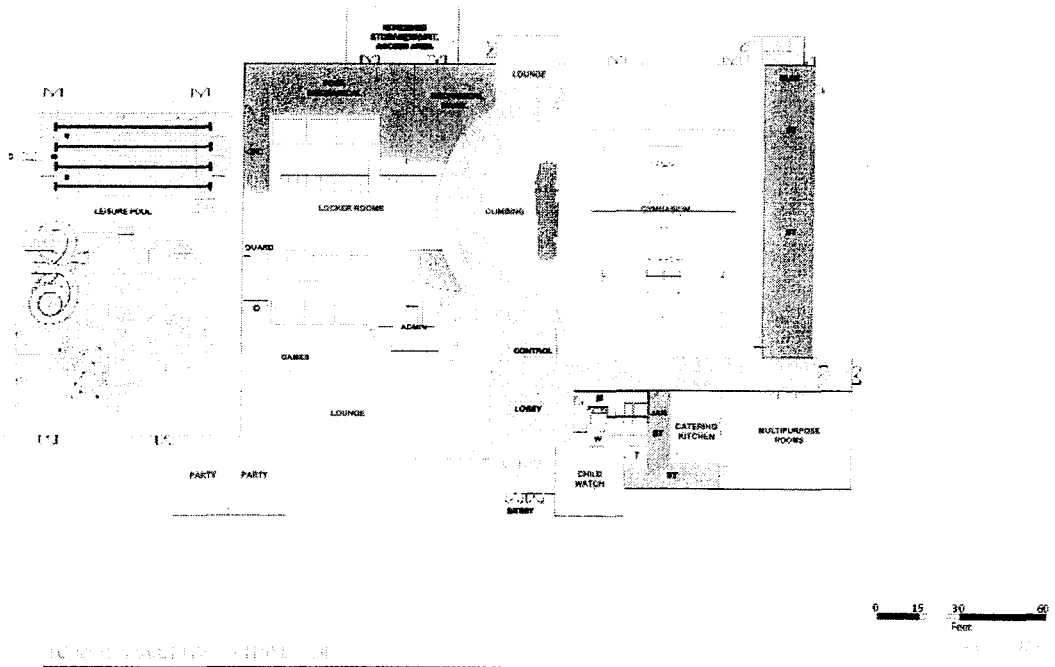
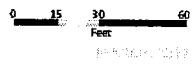
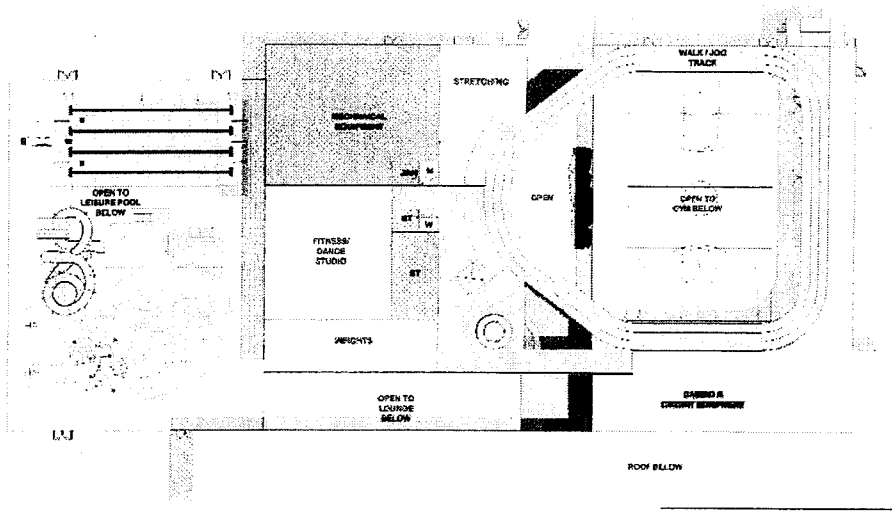
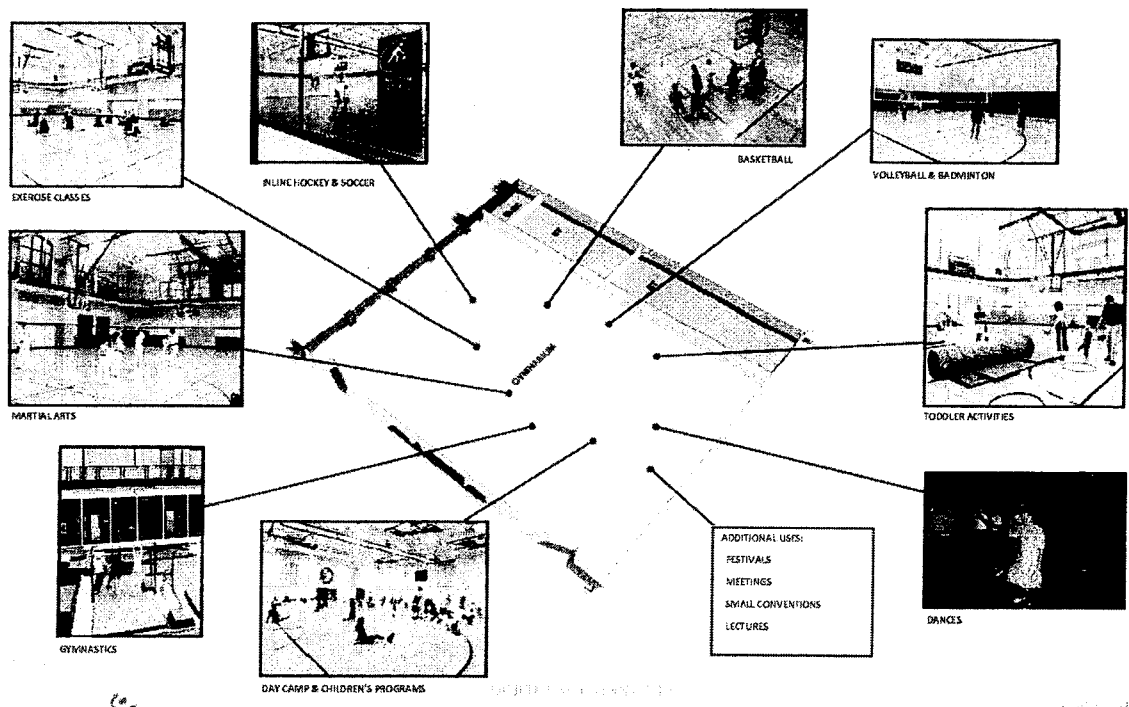


Figure X



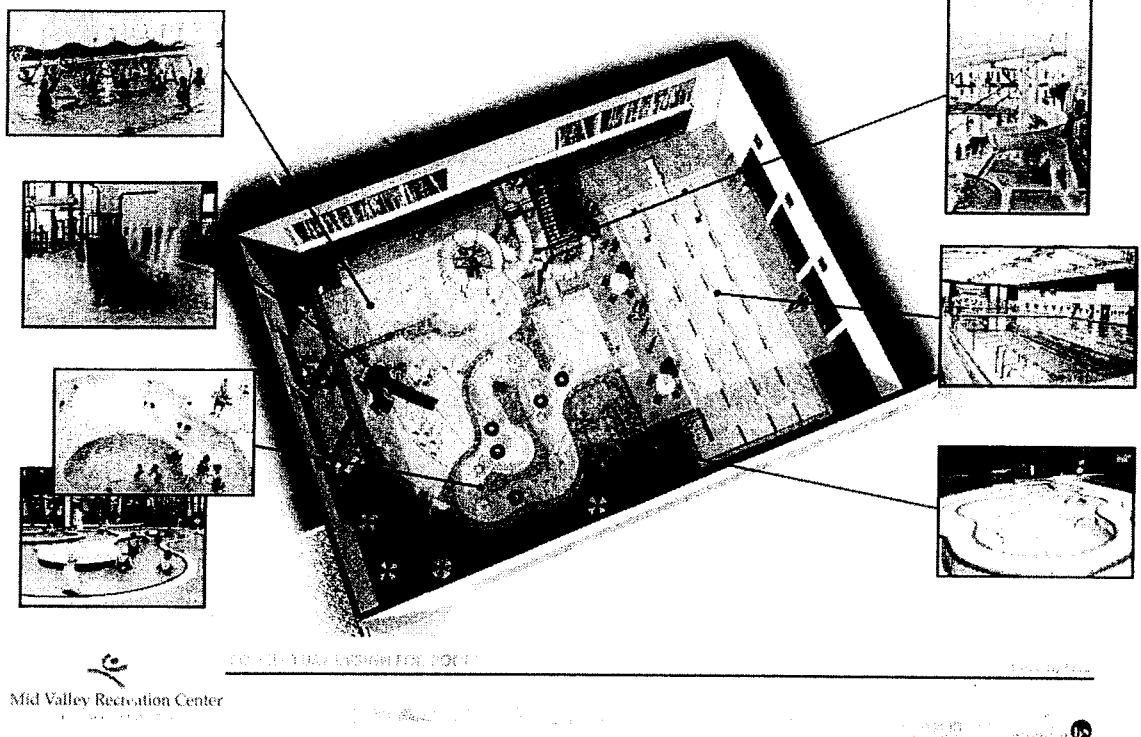
Mid Valley Recreation Center  
AT CLIFTON HOCKEY CENTER

Figure XI



Mid Valley Recreation Center  
AT CLIFTON HOCKEY CENTER

Figure XII



**Figure XIII**

Figures XII and XIII are conceptual illustrations depicting various interior appearance concepts for the multiuse gymnasium and the swimming pools. Final designs for these facilities will depend upon available funding, the interests of the residents of the Crown Mountain Park District and decisions by the Crown Mountain Board of Directors.



**4. Exterior lighting - "Dark-sky" fixtures, minimal night lighting necessary for public safety**

The project will utilize dark sky fully shielded down-facing lighting for infrastructure. Lighting will not create glare or be unnecessarily bright. Buildings shall only have exterior illumination necessary for safety requirements and minimal signage illumination for commercial uses. Crown Mountain Park PUD will utilize "dark sky compliant" exterior light fixtures and will comply with the Town of Basalt lighting regulations. These requirements will also include exterior lighting on the site in parking lots, along walkways, and exterior portions of buildings.

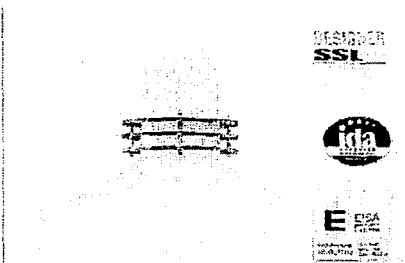
**Lighting Plan**

A final lighting plan will be submitted to Eagle County as part of the final design review process. The lighting plan for the new facilities will include similar designs as those currently in use at the existing county building and will comply with the approved Crown Mountain PUD lighting requirements. Cut-sheets typical for parking lot fixtures and walkway bollard lighting are shown below. The final design of the light fixture will be submitted with the Final Design drawings subject to recommendation by the RFVRPC and approval by the BOCC prior to issuance of a building permit.

Parking Lot Light



Universe<sup>®</sup> – Medium Scale



DESIGNER SSL

- Part of AAL's Designer SSL Series
- First decorative, modular system with precise LED aiming capabilities
- Modular system with various luminous options, five hood options, and three optical systems for customization to complement site design
- Featuring exclusive MicroEmitter™ technology

- Field replaceable LED EmitterDeck™ upgrade kits for UCM-H (HID)
- Pole, wall, and pendant mounting options
- EISA compliant
- IP65 rated
- Powder coat finish in 13 standard colors with a polymer primer sealer

ORDERING INFORMATION

UCM ~~STR~~ ~~FTG~~ - ~~DGN~~ - ~~FTG~~

(3500K) T3-60LED-WW and T5-60LED-WW

UCM	UNIVERSE MEDIUM
HOODS	WND   4 luminous windows SR   Solid rings VSL   Vertical slots LUM   Luminous rings
HOOD	ANG   Angled hood BEL   Bell hood FLR   Flared hood STR   Straight hood SKB   Skirted bell hood

LED	60 high emitting diode array (71 total luminaire input watts), 120 thru 277 volt. Warm White (3500K) T2-60LED-WW   IES Type 2 distribution T3-60LED-WW   IES Type 3 distribution T4-60LED-WW   IES Type 4 distribution T5-60LED-WW   IES Type 5 distribution Bright White (5100K) T2-60LED-WW   IES Type 2 distribution T3-60LED-WW   IES Type 3 distribution T4-60LED-WW   IES Type 4 distribution T5-60LED-WW   IES Type 5 distribution Comes complete with LEDs and drivers. All drivers are factory wired for 277 volts, 0-5 amp profile.
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REFLECTORS	Horizontal reflector, fog glass lens H2   Type 2 distribution H3   Type 3 distribution H4   Type 4 distribution H5   Type 5 distribution Optic acrylic lens OAL   100 watts max Glass reflector GR3   Type 3 distribution GR5   Type 5 distribution
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LED	PL57   57 watt compact fluorescent 120 thru 277 volt ballast. Use GE F57GX lamp, -10°C minimum start temp. 50MH   50 watt metal halide 120/208/240/277 volt ballast. Use medium base, ED-17 lamp. 70MH   70 watt metal halide 120/208/240/277 volt ballast. Use medium base, ED-17 lamp. 70MHBE   70 watt electronic metal halide 120 thru 277 volt ballast. Use medium base, ED-17 lamp. 70MHT6   70 watt metal halide 120/277/347 volt ballast. Use G12 base, T-6 ceramic lamp. 70MHT6EB   70 watt electronic metal halide 120 thru 277 volt ballast. Use G12 base, T-6 ceramic lamp. 100MH   100 watt metal halide 120/208/240/277 volt ballast. Use medium base, ED-17 lamp. 100MHBE   100 watt electronic metal halide 120 thru 277 volt ballast. Use medium base, ED-17 lamp. 150PSMH   Pulse start 150 watt metal halide 120/208/240/277 volt ballast. Use medium base, ED-17 lamp. <b>Not for DAL.</b> 150PSMHT6   Pulse start 150 watt metal halide 120/208/240/277 volt ballast. Use G12 base, T-6 ceramic lamp. <b>Not for DAL.</b> 150MHBE   150 watt electronic metal halide 120 or 277 volt ballast. Use medium base, ED-17 lamp. <b>Not for DAL.</b> 150MHT6EB   150 watt electronic metal halide 120 or 277 volt ballast. Use G12 base, T-6 ceramic lamp. <b>Not for DAL.</b> 175PSMH   Pulse start 175 watt metal halide 120/208/240/277 volt ballast. Use medium base, ED-17 lamp. <b>GR3/5 models only.</b> 50HPS   50 watt high pressure sodium 120/277 volt ballast. Use medium base, ED-17 lamp. 70HPS   70 watt high pressure sodium 120/208/240/277 volt ballast. Use medium base, ED-17 lamp. 100HPS   100 watt high pressure sodium 120/208/240/277 volt ballast. Use medium base, ED-17 lamp. 150HPS   150 watt high pressure sodium 120/208/240/277 volt ballast. Use medium base, ED-17 lamp. <b>Not for DAL.</b> IL55   55 watt induction lamp system with high frequency generator. Specify 120, 208, 240 or 277 volt ballast. -25°C start temp. <b>OAL only. Less luminous elements.</b> IL85   85 watt induction lamp system with high frequency generator. Specify 120, 208, 240 or 277 volt ballast. -25°C start temp. <b>OAL only. Less luminous elements.</b>
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FINISHES	AWT   Arctic White BLK   Black MTB   Matte Black DGN   Dark Green DBZ   Dark Bronze WRZ   Weathered Bronze BRM   Metallic Bronze VBL   Verde Blue CRT   Copper MAL   Matte Aluminum MDG   Medium Grey ATG   Antique Green LGY   Light Grey RAL / PREMIUM COLOR   Provide a RAL 4 digit color number CUSTOM COLOR   Please provide a color chip for matching
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OPTIONS	SLC   Internal sleeve to block light from the lens when a luminous element is chosen. HSS   House side shield, factory installed. <b>Not for Type 5. Not for LED.</b> 347V   120/240/347 volt ballast for HID lamp, except 50MH and 50HPS. <b>Not for LED.</b> FTG   Flat glass lens instead of standard sag glass. Reflector models only. <b>Not for LED.</b> FLD   Lightly diffused finish on flat glass lens. Reflector models only. GRS   Restrike controller and T-4 mini-can socket. Not required with electronic ballast. (Lamp wattage not to exceed ballast wattage). <b>Not for LED.</b> QL   Socket for T-4 mini-can lamp, field wired to a separate circuit. (Lamp wattage not to exceed ballast wattage). <b>Not for LED.</b> RCK   Rock Guard painted black, attached to door frame. Reflector models only. (Not for PBR).
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All ballasts are factory wired for 277 volts, unless specified. Lamps not included (except IL and LED options). All applicable ballasts are EISA compliant.

Please visit [www.aal.net](http://www.aal.net) for options, mounting, dimensions, weight & EPA



190

Bollard Light

# UCB

## Universe<sup>®</sup> - Bollard

COPYRIGHT



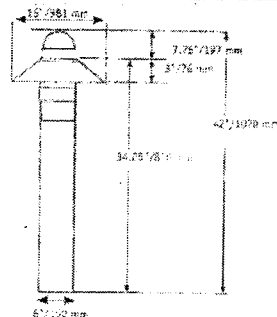
**FEATURES**

- Now available with highly efficient LED technology
  - IES Type 5 distribution
  - Two color temperatures, 3000K and 5100K
- Modular system offers five luminous options and two hood options for customization to complement site design
- Full cutoff classification when used without luminous elements
- Glass refractor lens, Type 5 distribution
- EISA compliant
- IP55 rated
- Powder coat finish in 13 standard colors with a polymer primer sealer

**ORDERING INFORMATION**

UCB	<input checked="" type="checkbox"/>	STR	12LED-WW	DGN	<input checked="" type="checkbox"/>	HSS																										
<b>MODEL</b>	UCB Universe Bollard																															
<b>LUMINOUS ELEMENT (OPTIONAL)</b>	<table border="1"> <tr> <td><b>SR</b> Solid Rings 7.5"/193 mm dia x 2.75"/70 mm high</td> <td><b>CF</b> Compact Fluorescent, electronic 120 thru 277 volt ballast. Use 4-pin, 26, 32 or 42 watt lamps. -18°C min starting temperature.</td> </tr> <tr> <td><b>LUM</b> Luminous Rings 7.5"/193 mm dia x 2.75"/70 mm high</td> <td><b>39MHT6B</b> 39 watt electronic metal halide 120 thru 277 volt ballast. Use G12 base, T-6 ceramic metal halide lamp.</td> </tr> <tr> <td><b>WND</b> 3 Windows 8.25"/130 mm dia x 2.75"/70 mm high</td> <td><b>50MH</b> 50 watt metal halide 120/208/240/277 volt ballast. Use medium base, ED-17 lamp.</td> </tr> <tr> <td><b>VSL</b> Vertical Slots 8.25"/130 mm dia x 2.75"/70 mm high</td> <td><b>50MHEB</b> 50 watt electronic metal halide 120 thru 277 volt ballast. Use medium base, ED-17 lamp.</td> </tr> <tr> <td></td> <td><b>70MH</b> 70 watt metal halide 120/208/240/277 volt ballast. Use medium base, ED-17 lamp.</td> </tr> <tr> <td></td> <td><b>70MHEB</b> 70 watt electronic metal halide 120 thru 277 volt ballast. Use medium base, ED-17 lamp.</td> </tr> <tr> <td></td> <td><b>70MHT6</b> 70 watt metal halide 120/277/347 volt ballast. Use G12 base, T-6 ceramic lamp.</td> </tr> <tr> <td></td> <td><b>70MHT6B</b> 70 watt electronic metal halide 120 thru 277 volt ballast. Use G12 base, T-6 ceramic lamp.</td> </tr> <tr> <td><b>HOOD</b></td> <td><b>50HPS</b> 50 watt high pressure sodium 120/277 volt ballast. Use medium base, ED-17 lamp.</td> </tr> <tr> <td><b>STR</b> Straight Hood 15"/380 mm dia x 3"/76 mm high</td> <td><b>70HPS</b> 70 watt high pressure sodium 120/208/240/277 volt ballast. Use medium base, ED-17 lamp.</td> </tr> <tr> <td><b>FLR</b> Flared Hood 15"/380 mm dia x 3"/76 mm high</td> <td><b>IL55</b> 55 watt, induction lamp system with high frequency generator. Specify 120, 208, 240, or 277 volt ballast. -25°C starting temperature.</td> </tr> <tr> <td></td> <td><b>12LED-WW</b> 12 light emitting diode array (52 watts). Warm white (3500K). 120 thru 277 volt.</td> </tr> <tr> <td></td> <td><b>12LED-RW</b> 12 light emitting diode array (52 watts). Bright white (5100K). 120 thru 277 volt.</td> </tr> </table> <p>All ballasts provided for 277 volts unless specified. Lamps not included (except LED and IL options). All applicable ballasts are EISA compliant.</p>						<b>SR</b> Solid Rings 7.5"/193 mm dia x 2.75"/70 mm high	<b>CF</b> Compact Fluorescent, electronic 120 thru 277 volt ballast. Use 4-pin, 26, 32 or 42 watt lamps. -18°C min starting temperature.	<b>LUM</b> Luminous Rings 7.5"/193 mm dia x 2.75"/70 mm high	<b>39MHT6B</b> 39 watt electronic metal halide 120 thru 277 volt ballast. Use G12 base, T-6 ceramic metal halide lamp.	<b>WND</b> 3 Windows 8.25"/130 mm dia x 2.75"/70 mm high	<b>50MH</b> 50 watt metal halide 120/208/240/277 volt ballast. Use medium base, ED-17 lamp.	<b>VSL</b> Vertical Slots 8.25"/130 mm dia x 2.75"/70 mm high	<b>50MHEB</b> 50 watt electronic metal halide 120 thru 277 volt ballast. Use medium base, ED-17 lamp.		<b>70MH</b> 70 watt metal halide 120/208/240/277 volt ballast. Use medium base, ED-17 lamp.		<b>70MHEB</b> 70 watt electronic metal halide 120 thru 277 volt ballast. Use medium base, ED-17 lamp.		<b>70MHT6</b> 70 watt metal halide 120/277/347 volt ballast. Use G12 base, T-6 ceramic lamp.		<b>70MHT6B</b> 70 watt electronic metal halide 120 thru 277 volt ballast. Use G12 base, T-6 ceramic lamp.	<b>HOOD</b>	<b>50HPS</b> 50 watt high pressure sodium 120/277 volt ballast. Use medium base, ED-17 lamp.	<b>STR</b> Straight Hood 15"/380 mm dia x 3"/76 mm high	<b>70HPS</b> 70 watt high pressure sodium 120/208/240/277 volt ballast. Use medium base, ED-17 lamp.	<b>FLR</b> Flared Hood 15"/380 mm dia x 3"/76 mm high	<b>IL55</b> 55 watt, induction lamp system with high frequency generator. Specify 120, 208, 240, or 277 volt ballast. -25°C starting temperature.		<b>12LED-WW</b> 12 light emitting diode array (52 watts). Warm white (3500K). 120 thru 277 volt.		<b>12LED-RW</b> 12 light emitting diode array (52 watts). Bright white (5100K). 120 thru 277 volt.
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<b>HOOD FINISH (OPTIONAL)</b>	<table border="1"> <tr><td><b>STS</b> Stainless steel</td></tr> <tr><td><b>COP</b> Natural copper The natural copper and stainless steel hoods are unfinished to develop a patina over time. All hoods have the outer side of the hood finished with reflective white.</td></tr> </table>						<b>STS</b> Stainless steel	<b>COP</b> Natural copper The natural copper and stainless steel hoods are unfinished to develop a patina over time. All hoods have the outer side of the hood finished with reflective white.																								
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**DIMENSIONS**



42" OAH  
 Note: Addition of a luminous element (Option #2) will increase the overall height by 2.75" to 44.75"  
 WT: 27 lbs.

888



## **5. Parking - phasing, sharing, loading zones**

### *Off-street Parking and Loading*

Parking for the recreation center at full build-out may include up to 254 spaces consisting of 248 standard spaces and six handicap accessible spaces. At full build-out, all parking for the recreation center will be asphalt. In response to County concerns about large areas of asphalt, CMP will phase in parking and incorporate shared parking as much as possible. The programmed parking for the recreation center and future facilities was analyzed carefully using empirical data from other similar facilities in Colorado. Eagle County does not have parking standards for these kinds of facilities, so CMP did not have guidance from the regulations. It is very important that these facilities are adequately parked so that element of design will not adversely impact the economic viability of the operation. The site plan design (Figure 1) for the recreation center submitted with this document show 160 parking spaces for both Phase 1 and 2. CMP shall have the right to add additional parking up to the maximum spaces allowed (254) based upon user demand and/or lack of alternative shared parking to ensure successful operation of the recreation center.

Parking for the indoor tennis facilities and indoor ice rink will include 164 total spaces made up of 161 standard spaces and three handicap accessible spaces. Parking for the indoor tennis courts and indoor ice rink will be gravel surface or at CMP's option, asphalt. Parking lot access driveways for all facilities are designed with a 24 foot width in compliance with the Eagle County standards for two-way access through parking lots with 90° angle parking spaces. Parking space size will be 18' x 8.5' which is slightly smaller than the County standard of 20' x 10'. However, the Eagle County Land Use Code allows parking depth to be reduced to 18 feet where there is a 2 foot bumper overhang on the parking spaces and separation from an adjoining sidewalk.

Parking will be located as shown on the site plan (Figure 1) included in this document and will include locations for future parking expansion.

### *Shared Parking.*

Shared parking is available among the multiple site parking lots because use of the various facilities will likely occur at different times throughout the day and evenings with varying levels of parking demand. Each facility is designed to have adequate parking spaces for the projected use demands for that particular use.

## **6. Landscaping - concept plan submitted w/ tree, shrub & plant lists**

### *Landscaping*

A general landscaping plan was submitted with the original PUD amendment and shows the general location of grasses, shrubs and trees as well as the proposed species type. An illustrative landscaping plan is shown on the site plan (Figure I) included with this document. Crown

Mountain will endeavor to utilize xeric grasses, plant and tree species to minimize water demands. The site will not include any fruit bearing trees that may attract bears. Similarly, the community garden will be completely fenced to keep out grazing animals. Irrigation systems are to be installed on the site to support and, as necessary, maintain new plantings. All water for outside irrigation is to come from non-treated surface irrigation and well water and will not put any demands on the potable water system. All disturbed areas will be revegetated upon completion of construction or in the case of disturbed areas where no surface construction will take place, within 60 days of the site disturbance. In all cases, if revegetation work cannot be completed by September of a given year, that work will be completed during the following growing season. All revegetation areas will be maintained in a predominately weed free condition.

#### **7. Signs.**

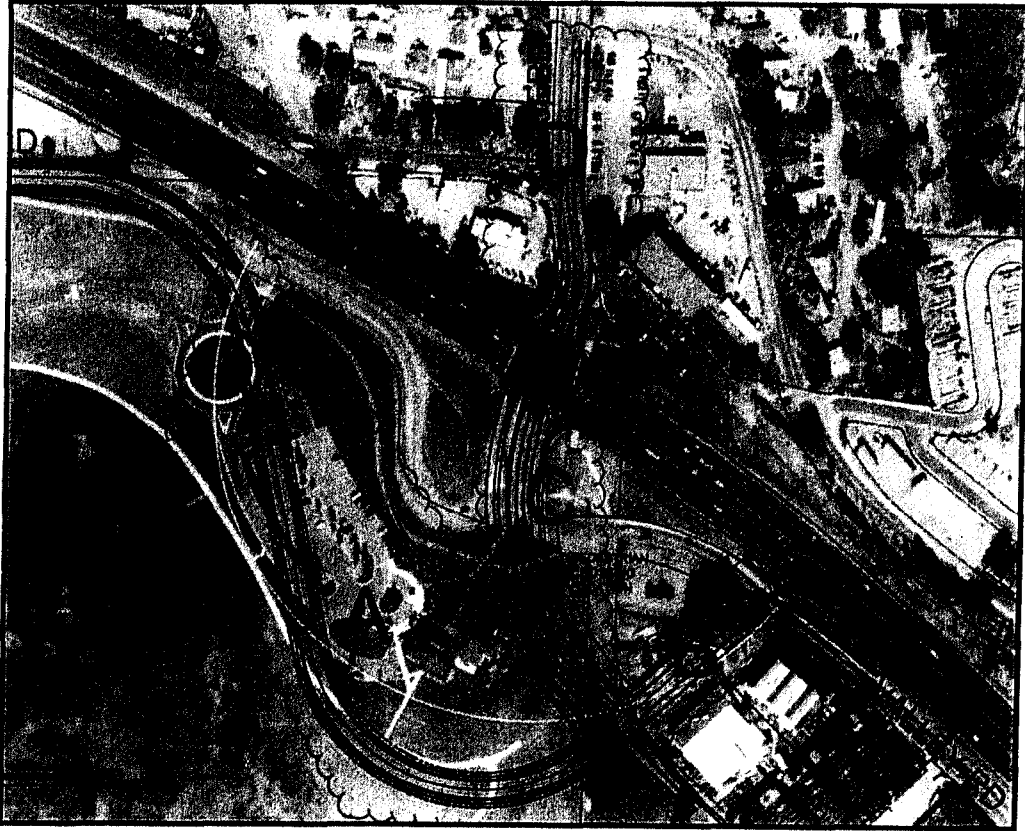
Site signage – A new monument sign will be added to the west Crown Mountain Park access shown on the site plan (Figure 1) in addition to a recreation center entry monument sign because of the redesigned double access configuration to the Recreation Center and the park. Regulatory signage throughout the site will conform to the Manual on Uniform Traffic Control Devices.

All signs associated with the entry points as well as individual building identification sign shall be consistent with the Eagle County Land-Use Regulations, Division 4-3, Sign Regulations. The signage shall include, but not be limited to, the recreation center, indoor tennis facilities, indoor ice rink and other site facilities as identified on the amended PUD Plan.

#### **8. Refuse/storage**

Exterior storage - will be screened from view from the adjacent Right-of-Way, will not occupy parking spaces and will be limited to Crown Mountain Park and Recreation Center functions. Exterior storage shall not include any hazardous materials. Exterior screened storage will be visually compatible with the recreation center and will be constructed of similar materials. Pool chemicals may be delivered to the exterior storage area, but will be properly stored in conformance with all applicable local, state and federal requirements.

**Exhibit B – Map of SH82/El Jebel Road intersection**



## EXHIBIT - C

### **Crown Mountain PUD Planned Unit Development Guide Approval Date: June 12, 2012**

#### **1. Purpose**

This Crown Mountain PUD Planned Unit Development Guide is the Seconded Amended and Restated Mount Sopris Tree Farm Planned Unit Development Guide; heretofore retitled as the Crown Mountain Park PUD Planned Unit Development. The purpose of the Crown Mountain PUD Planned Unit Development Guide is to serve as the governing regulations that will control the land uses within the PUD. The PUD guide will serve as the zone district regulations for the PUD and will regulate the use of land and all dimensional limitations for structures planned for the site; and provide additional regulations. This PUD Guide is in conformance with the requirements listed in Article 5-5-240F2 a(8) of the Eagle County Land-Use Regulations.

Additionally, the purpose of this Guide is to ensure the orderly and compatible development of the property. The Guide replaces the standard zoning provisions of Eagle County with site-specific restrictions that are most appropriate to the specific conditions of lands contained within the development. This PUD Guide will establish and implement a long-range comprehensive plan for the Crown Mountain PUD Planned Unit Development that will encompass such beneficial features as a balance of government and recreational uses, enhancement of public safety, creation of aesthetically pleasing environmental features and promotion of high standards of development quality through stringent site planning, landscape controls and architectural design guidelines all for the benefit of the existing and future residents of the mid-valley region.

#### **2. Intent**

The Crown Mountain Park PUD is intended to be a recreational and public service project. The guide remained somewhat flexible to allow for changes and innovations in recreational design and as it guides the development of the remaining portion of the property. These changes will only be permitted, as they remain consistent with the approved Site Plan.

#### **3. Enforcement**

The provisions of this Guide are enforceable by the authority and powers of Eagle County as granted by law. Enforcement actions shall be consistent with the authority and actions defined in Eagle County Land-Use Regulations.

#### **4. Modifications to this Guide**

It is anticipated that modifications to this Guide will be necessary from time to time as the project progresses through its development life. This guide provides two types of modifications; major and minor. These two types are defined below:

#### **5. Major Modifications**

Major modifications shall require amendments to the PUD Site Plan. Major modifications are those changes, which would alter the character, intensity or land use of a portion of the project. Examples include proposal for additional recreation facilities or expanded public buildings. Major modifications shall be defined and processed in accordance with Section 5-240.F.3.m, Amendments to Preliminary Plan for PUD, of the Eagle County Land-Use Regulations.

#### **6. Minor Modifications**

Minor Modifications are these changes that will not alter the original concept of the project but which may result in a change in design of the development. Minor Modifications are changes which do not alter the intensity or general location of permitted uses. Examples include proposals for eliminating the roundabouts in the trail system, small changes in orientation a recreational fields, the reshaping of parking pods, internal road alignment alterations, or changes in proposed recreational uses that do not have a significant impact on adjoining property owners or the spirit and intent of the approved Site Plan and the PUD Plan.

Applications for Minor Modification shall be processed in accordance with Section 5-300, Limited Review Use, of the Eagle County Land Use Regulations. The Community Development Director will have discretion over whether the modification is a major or minor change for the purposes of implementing this section of the PUD Guide.

## **7. PUD Zone District**

### **Government/Recreation Zone District (G/R)**

#### **Purpose:**

To provide recreational and governmental uses for the Mid-Valley area.

***Uses by right: (All Uses by Right except those noted with an \*shall be those shown on the approved Site Plan).***

1. Community/Public Building with Footprint No Greater Than 15,000 square feet.
2. 4 Soccer Fields.
3. 2 Softball/Baseball fields.
4. 2 Tennis Courts.
5. 2 Basketball Courts.
6. 2 Volleyball Courts.
7. Community/Botanical Gardens.
8. Gazebo.
9. Ice-Skating Facilities.
10. Skateboard Facilities.
11. Senior Center.
12. Open Space/Greenbelt.
13. Walking/Biking Trails.
14. Surface Parking Lots.
15. Public Meeting Rooms.
16. Outdoor BMX Track.
17. Recreation Administration Offices and Maintenance Facilities.
18. Concession and Restrooms.
19. Pavilions.
20. Ponds and Other Associated Drainage Facilities.
21. Interpretive and Public Education Displays.
22. Tot Lots and Playgrounds.
23. Picnic Shelters and Tables.
24. Outdoor Amphitheater.
25. Public Assembly.
26. \*All other recreational and governmental uses deemed consistent with the approved PUD Site Plan and approved by Planning Director.
27. Fenced Dog Park.
28. \*Nordic uses including cross-country skiing, snowshoeing and other passive winter recreational uses consistent with the restrictions contained within the Wildlife Management and Enhancement Program.
29. Recreation Center and accessory uses.
30. Exterior storage - Screened from view from the adjacent Right-of-Way, not occupying parking spaces and limited to Crown Mountain Park and Recreation



Center functions. Except as otherwise noted, exterior storage shall not include any hazardous materials. Exterior screened storage will be visually compatible with the recreation center and will be constructed of similar materials.

31. Interior storage.
32. Enclosed ice rink.
33. Enclosed tennis courts.
34. Water features.
35. Flexibility to move structures within 10% of location shown on the approved Site Plan.
36. Farmer's market/flea market, special events or other similar non-recreational public gatherings anticipated to have more than 20 participants will be subject to a limited review by Eagle County to ensure adequacy of parking, toilet facilities, waste receptacles and similar needs.
37. Educational facilities - outdoor or indoor ancillary to health and recreation functions in Crown Mountain Park.
38. Utility/irrigation facilities.
39. Riparian enhancements.
40. Public art displays.
41. **Special use:** Dark sky compliant ballfield lighting.

## **8. Signs.**

A new monument sign will be added to the west Crown Mountain Park access shown on the Site Plan in addition to a recreation center entry monument sign because of the redesigned double access configuration to the Recreation Center and the park.

All signs associated with each entry point as well as individual building identification sign shall be consistent with the applicable Eagle County Land-Use Regulations, Division 4-3, Sign Regulations. The signage shall include, but not be limited to, the recreation center, indoor tennis facilities, indoor ice rink and other site facilities as identified on the amended PUD Plan. Regulatory signage throughout the site will conform to the Manual on Uniform Traffic Control Devices (MUTCD).

## **9. Refuse/storage**

Exterior storage - will be screened from view from the adjacent Right-of-Way, will not occupy parking spaces and will be limited to Crown Mountain Park and Recreation Center functions. Exterior storage shall not include any hazardous materials. Exterior screened storage will be visually compatible with the recreation center and will be constructed of similar materials. Pool chemicals may be delivered to the exterior storage area, but will be properly stored in conformance with all applicable local, state and federal requirements.

## **10. Controls.**

### **A. Wildlife management and enhancement program.**

1. All guests and employees shall be subject to the mitigation measures proposed within the Wildlife Management Enhancement Plan. The recommended actions will be implemented at the discretion of the Board of County Commissioners.
2. All dogs and dog owners shall be subject to the restrictions proposed within the Wildlife Management and Enhancement Program.
3. The entire text of the Wildlife Management and Enhancement Program document (Attachment I) is hereby incorporated by reference and shall be recorded as an appendix to the final PUD guide.
4. All exterior waste receptacles shall be wildlife-resistant.

### **B. Construction**

All construction shall be subject to erosion control measures and standard Best Management Practices to control dust emissions, air quality, and water quality and noise and odor limitations.

### **C. Landscaping/Irrigation/Weed and Pest Management.**

The applicant shall landscape all areas within Phase I (see approved Site Plan) as soon as construction, excavation and re-contouring are complete. All subsequent landscaping associated with Phase II of the Crown Mountain PUD shall be completed following re-grading and re-contouring associated with Phase II.

Timers and moisture sensors and/or other water saving technologies will be incorporated into the recreational component of the project.

Prior to the issuance of a final certificate of occupancy for the government building, the applicant shall submit a comprehensive weed management plan for the entire site.

Best management practices will be followed in the use of all pesticides and herbicides on the site.

**D. Illumination standards.**

The purpose of this section is to establish standards for controlling illumination to prevent intense glare or direct illumination that would create a nuisance which distracts from the use or enjoyment of adjoining property or causes traffic hazards for motorists.

Exterior illumination shall not cast glare directly onto adjacent properties. All lighting associated with the project, including all lighting associated with the proposed and existing structures, trails or safety features, including the parking lights shall be low profile and meet or exceed the requirements promulgated by the Town of Basalt lighting ordinance. Only security lighting will be allowed on the building between 10:00 PM and 6:00 AM. All 24-hour parking lot lighting and entrances will be shielded, low-profile lighting unless special events dictate otherwise. All outdoor lighting shall be located, aimed, or shielded so as to minimize stray light trespassing across property boundaries. No nighttime lighting will be used for the ballfields without a special use review and public process completed by Eagle County.

**11. Dimensional Limitations**

PUD Dimensional Limitations Table

Minimum Lot Area per Use <sup>(6)</sup>	Maximum Lot Coverage (Net Developable Land) <sup>(1)</sup>	Maximum Floor Area Ratio <sup>(2)</sup>	Minimum Front Yard Setback <sup>(3) (7)</sup>	Minimum Rear Yard Setback <sup>(3) (7)</sup>	Minimum Side Yard Setback <sup>(3) (7)</sup>	Minimum Stream Setback <sup>(4)</sup>	Maximum Height <sup>(5)</sup>
35 Acres	Recreational buildings = 161,400 Square Feet	15:1	50 feet	1,000 feet <sup>(7)</sup>	20 feet	500 feet	50 <sup>(8)</sup> feet
35 Acres	Non-recreation government buildings = 76,059 Square Feet	15:1	50 feet	1,000 feet <sup>(7)</sup>	20 feet	500 feet	50 <sup>(8)</sup> feet

**Impervious Surfaces = 25%**

- (1) Based on the letter from the US Forest Service (Attachment J in PUD Application) and Mark Fuller (Attachment K in PUD Application) clarifying that the additional lot coverage requested in this application conforms to the stated intent of Congress.
- (2) Based on the ratio of maximum lot coverage by gross land mass.
- (3) All setbacks are based on the location of the proposed government and existing buildings, as well as prior master planning efforts.
- (4) The stream setback is based on the passive/active recreation delineation contained within the PUD Plan
- (5) Maximum Height is consistent with the "Resource" underlying the zone district or as modified by the approved Crown Mountain PUD Amendment.
- (6) Use shall mean all recreational activities within the Crown Mountain Site and Depicted on the 2010 Amended PUD Plan.
- (7) Setbacks shall not apply to buildings located within defined building envelopes depicted on the PUD Plan. All buildings shall be located within the designated building envelopes depicted on the PUD Plan included with this submittal.
- (8) Exceptions to height regulations. Chimneys, spires, turrets, HVAC equipment and similar projections may extend above the building height a maximum of 6 feet provided, however, such features collectively do not represent more than twenty (20) percent of the total horizontal roof line.

**Off-street Parking and Loading**

Parking for the recreation center at full build-out may include up to 254 spaces consisting of 248 standard spaces and six handicap accessible spaces. At full build-out, all parking for the recreation center will be asphalt. In response to County concerns about large areas of asphalt, CMP will phase in parking and incorporate shared parking as much as possible. The programmed parking for the recreation center and future facilities was analyzed carefully using empirical data from other similar facilities in Colorado. Eagle County does not have parking standards for these kinds of facilities, so CMP did not have guidance from the regulations. It is very important that these facilities are adequately parked so that element of design will not adversely impact the economic viability of the operation. The site plan design (Figure 1) for the recreation center submitted with this document show 160 parking spaces for both Phase 1 and 2. CMP shall have the right to add additional parking up to the maximum spaces allowed (254) based upon user demand and/or lack of alternative shared parking to ensure successful operation of the recreation center.

Parking for the indoor tennis facilities and indoor ice rink will include 164 total spaces made up of 161 standard spaces and three handicap accessible spaces. Parking for the indoor tennis courts and indoor ice rink will be gravel surface or at CMP's option, asphalt. Parking lot access driveways for all facilities are designed with a 24 foot width in compliance with the Eagle County standards for two-way access through parking lots with 90° angle parking spaces. Parking space size will be 18' x 8.5' which is slightly smaller than the County standard of 20' x 10'. However, the Eagle County Land Use Code allows parking depth to be reduced to 18 feet where there is a 2 foot bumper overhang on the parking spaces and separation from an adjoining sidewalk.

Parking will be located as shown on the approved Site Plan and will include locations for future parking expansion.

**Shared Parking.**

Shared parking is available between the multiple site parking lots because use of the various facilities will likely occur at different times throughout the day and evenings with varying levels of parking demand. Each facility is designed to have adequate parking spaces for the projected use demands for that particular use.

## **Landscaping**

A general landscaping plan was submitted with the PUD amendment and shows the general location of grasses, shrubs and trees as well as the proposed species type. An illustrative landscaping plan is shown on the Site Plan. Crown Mountain will endeavor to utilize xeric grasses, plant and tree species to minimize water demands. The site will not include any fruit bearing trees that may attract bears. Similarly, the community garden will be completely fenced to keep out grazing animals. Irrigation systems are to be installed on the site to support and, as necessary, maintain new plantings. All water for outside irrigation is to come from non-treated surface irrigation and well water and will not put any demands on the potable water system. All disturbed areas will be revegetated upon completion of construction or in the case of disturbed areas where no surface construction will take place, within 60 days of the site disturbance. In all cases, if revegetation work cannot be completed by September of a given year, that work will be completed during the following growing season. All revegetation areas will be maintained in a predominately weed free condition.

## EXHIBIT - C

### **Crown Mountain PUD Planned Unit Development Guide Approval Date: June 12, 2012**

#### **1. Purpose**

This Crown Mountain PUD Planned Unit Development Guide is the Seconded Amended and Restated Mount Sopris Tree Farm Planned Unit Development Guide; heretofore retitled as the Crown Mountain PUD Planned Unit Development. The purpose of the Crown Mountain PUD Planned Unit Development Guide is to serve as the governing regulations that will control the land uses within the PUD. The PUD guide will serve as the zone district regulations for the PUD and will regulate the use of land and all dimensional limitations for structures planned for the site; and provide additional regulations. This PUD Guide is in conformance with the requirements listed in Article 5-5-240F2 a(8) of the Eagle County Land-Use Regulations.

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The Crown Mountain PUD is intended to be a recreational and public service project. The guide remained somewhat flexible to allow for changes and innovations in recreational design and as it guides the development of the remaining portion of the property. These changes will only be permitted, as they remain consistent with the approved Site Plan.

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**Impervious Surfaces = 25%**

- (1) Based on the letter from the US Forest Service (Attachment J in PUD Application) and Mark Fuller (Attachment K in PUD Application) clarifying that the additional lot coverage requested in this application conforms to the stated intent of Congress.
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**Off-street Parking and Loading**

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## LEGAL DESCRIPTION

A PORTION OF TRACTS 43, 45 AND 46 OF SECTION 3, TOWNSHIP 8 SOUTH, RANGE 87 WEST, 6TH PRINCIPAL MERIDIAN, EAGLE COUNTY, COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT CORNER NO. 4 OF SAID TRACT 43; THENCE S 88 DEGREES 39 MINUTES 00 SECONDS W A DISTANCE OF 130.05 FEET; THENCE S 00 DEGREES 03 MINUTES 20 SECONDS W A DISTANCE OF 1337.01 FEET; THENCE N 89 DEGREES 19 MINUTES 40 SECONDS W A DISTANCE OF 1002.35 FEET; THENCE N 30 DEGREES 15 MINUTES 37 SECONDS W A DISTANCE OF 559.45 FEET; THENCE N 63 DEGREES 17 MINUTES 20 SECONDS W A DISTANCE OF 729.22 FEET; THENCE N 37 DEGREES 14 MINUTES 16 SECONDS W A DISTANCE OF 698.86 FEET; THENCE N 64 DEGREES 13 MINUTES 58 SECONDS W A DISTANCE OF 491.55 FEET; THENCE N 12 DEGREES 06 MINUTES 11 SECONDS W A DISTANCE OF 290.82 FEET; THENCE N 25 DEGREES 08 MINUTES 07 SECONDS W A DISTANCE OF 318.78 FEET; THENCE N 03 DEGREES 56 MINUTES 09 SECONDS W A DISTANCE OF 167.00 FEET; THENCE S 89 DEGREES 40 MINUTES 47 SECONDS E A DISTANCE OF 423.89 FEET; THENCE S 21 DEGREES 39 MINUTES 06 SECONDS E A DISTANCE OF 145.20 FEET; THENCE S 59 DEGREES 22 MINUTES 06 SECONDS E A DISTANCE OF 190.11 FEET; THENCE S 88 DEGREES 36 MINUTES 56 SECONDS E A DISTANCE OF 505.67 FEET; THENCE N 01 DEGREES 59 MINUTES 07 SECONDS W A DISTANCE OF 617.67 FEET TO THE NORTH LINE OF SAID TRACT 43; THENCE ALONG SAID NORTH LINE N 89 DEGREES 53 MINUTES 26 SECONDS E A DISTANCE OF 1004.95 FEET TO A POINT ON THE CDOT FRONTAGE ROAD BOUNDARY; THENCE DEPARTING SAID NORTH LINE OF TRACT 43, ALONG SAID CDOT FRONTAGE ROAD BOUNDARY THE FOLLOWING COURSES;

S 00 DEGREES 44 MINUTES 29 SECONDS E A DISTANCE OF 27.63 FEET; S 77 DEGREES 32 MINUTES 15 SECONDS E A DISTANCE OF 57.67 FEET; ALONG A NONTANGENT CURVE TO THE RIGHT, OF RADIUS 568.11 FEET, AN INTERIOR ANGLE OF 27 DEGREES 14 MINUTES 39 SECONDS, AND CHORD BEARING S 75 DEGREES 22 MINUTES 29 SECONDS E A DISTANCE 267.60 FEET; S 60 DEGREES 53 MINUTES 59 SECONDS E A DISTANCE OF 334.40 FEET; ALONG A NONTANGENT CURVE TO THE RIGHT, WITH A RADIUS OF 197.86 FEET, AN INTERIOR ANGLE OF 64 DEGREES 40 MINUTES 53 SECONDS, AND CHORD BEARING S 29 DEGREES 25 MINUTES 59 SECONDS E AND DISTANCE 115.40 FEET; S 01 DEGREES 36 MINUTES 29 SECONDS E A DISTANCE OF 63.60 FEET; ALONG A NONTANGENT CURVE TO THE LEFT, WITH A RADIUS OF 121.16 FEET, AN INTERIOR ANGLE OF 74 DEGREES 59 MINUTES 28 SECONDS, AND CHORD BEARING S 34 DEGREES 36 MINUTES 29 SECONDS E A DISTANCE 147.50 FEET; S 71 DEGREES 24 MINUTES 29 SECONDS E A DISTANCE OF 270.83 FEET; THENCE DEPARTING SAID CDOT FRONTAGE ROAD BOUNDARY S 00 DEGREES 16 MINUTES 29 SECONDS E A DISTANCE OF 722.98 FEET; THENCE S 88 DEGREES 39 MINUTES 00 SECONDS W A DISTANCE OF 101.60 FEET TO THE POINT OF BEGINNING, COUNTY OF EAGLE, STATE OF COLORADO.

NOTE: THE FINAL POLICY DOES NOT IN ANY WAY GUARANTEE OR INSURE THE DIMENSIONS OF THE ABOVE DESCRIBED LAND, THE LEGAL DESCRIPTION IS DERIVED FROM THE CHAIN OF TITLE AND ONLY AN ACCURATE SURVEY CAN DETERMINE THE DIMENSIONS.

Exhibit A

# **WILDLIFE ANALYSIS REPORT**

**Mt. Sopris Tree Farm  
El Jebel, Colorado**

**Planned Unit Development  
Final Plan Application**

*Prepared for:*

*Eagle County, Colorado*

*October 16, 2000*

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970.963.1971**

**Exhibit D**

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## **I. INTRODUCTION**

The following Wildlife Analysis is submitted as a component of the Final Planned Unit Development (PUD) application for the Mt. Sopris Tree Farm in Eagle County, Colorado. The Eagle County Land Use Regulations require a Wildlife Analysis for a PUD application in order to protect and maintain wildlife in Eagle County. Article 4 - Site Development Standards, Section 4-410 - Wildlife Protection of the Land Use Regulations outlines the specific provisions of the Wildlife Analysis. These include identifying critical wildlife habitats in the project area and recommending mitigation measures needed to protect wildlife species and their habitats.

Direction for the protection of wildlife at the Mt. Sopris Tree Farm can also be found in the 1996 Mt. Sopris Tree Farm Master Plan and the 1998 Mt. Sopris Tree Farm Community Master Plan. Both of these documents state a desire to protect and improve wildlife and riparian habitat at the Tree Farm.

## **II. GENERAL SITE DESCRIPTION**

The Mt. Sopris Tree Farm is comprised of 123.72 acres of relatively flat topography, with an elevation ranging between 6416 to 6496 feet above sea level. It is found within the Roaring Fork River watershed southwest of El Jebel, Colorado at N ½, Section 3, T8S, R87W. To the north and east of the Tree Farm property are residential subdivisions. The parcel is bordered on the south and west by the riparian zone of the Roaring Fork River. The Tree Farm parcel is surrounded by a ten-foot high deer fence that separates it from adjoining properties. It was installed to prevent deer and elk from grazing on the irrigated hay fields.

Prior to 1962, the Mt. Sopris Tree Farm was an irrigated pasture. In 1962, the U. S. Forest Service acquired the property in order to produce seeds and trees for revegetation efforts on public lands. During this time, the property was graded to facilitate these growing activities. In the late 1980's, the Forest Service abandoned seed and tree production, and leased the land for private hay production. A center point irrigation system was installed during this time to increase the hay yield. In 1994, the U. S. Forest Service traded the land to Pitkin and Eagle Counties for open space and recreational purposes. Under a lease with Eagle County, the land is still being used for private irrigated hay production.



### III. VEGETATIVE CHARACTERISTICS

Vegetatively, the Mt. Sopris Tree Farm property is divided into two sections. The first and larger is an irrigated hay field comprised of mixed introduced grass and for species that cover approximately 85% of the site (Figure 1).

The plant species found in this section include: alfalfa (*Medicago sativa*), awnless brome (*Bromus inermis*), white clover (*Trifolium repens*), common dandelion (*Taraxacum officinale*), curlycup gumweed (*Grindelia squarrosa*), common mullein (*Verbascum thapsus*), orchard grass (*Dactylis glomerata*), cereal rye (*Secale cereale*), common tansy (*Tanacetum vulgare*), plumeless thistle (*Carduus acanthoides*), wheatgrass (*Agropyron sp.*), and Salina wildrye (*Elymus salinus*).

In the southwest corner of the Tree Farm property is a small section that has not been continuously cultivated. It has similar grass species as above, but includes a scattering of big sagebrush (*Artemisia tridentata*) that has escaped mowing operations (Figure 2). This sections covers approximately 15% of the Tree Farm property. In contrast to the flat graded hay field, it is marked by small undulations in the terrain. It also includes a large (approximately 10' x 50') waste pile of river rock, gravel and loose dirt that is overgrown with thistle (Figure 3).

#### Vegetational Significance

None of the above species are listed as threatened or endangered in the state of Colorado. Plumeless thistle (*Carduus acanthoides*) is listed in the Eagle County Weed Management Plan (Resolution 2000 – 45), as one of fifteen noxious weeds found in the County that requires management to contain. Both common tansy and common mullein are listed as Colorado noxious weeds.

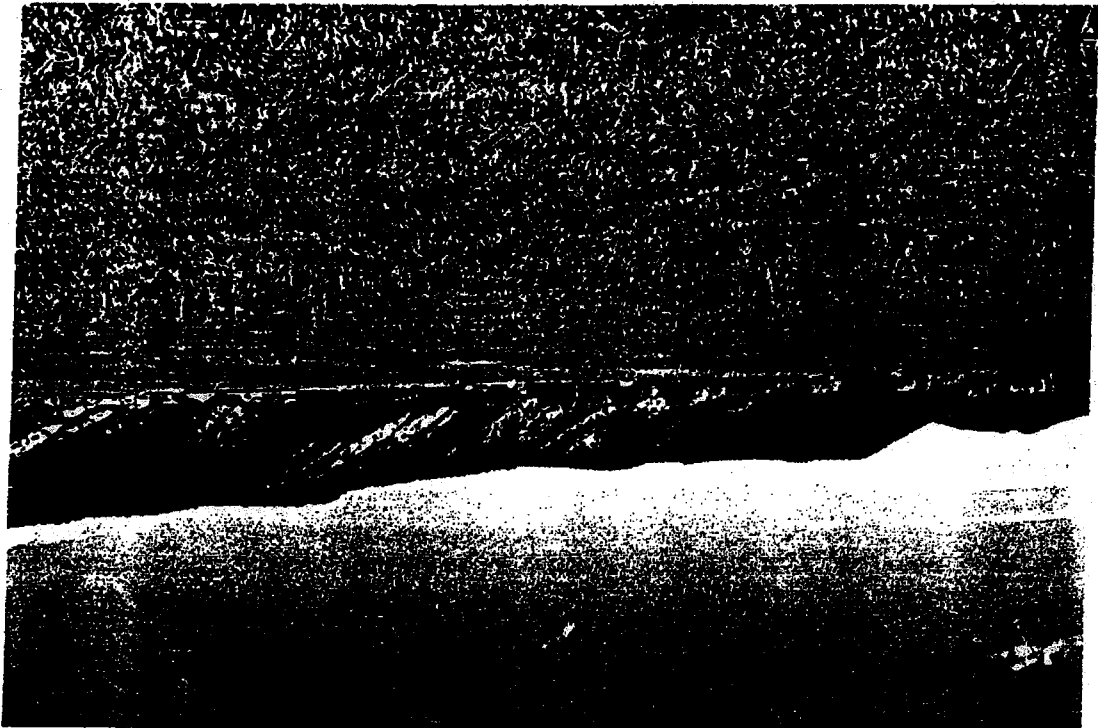
#### Cottonwood Riparian Ecosystem

The most significant plant community found in the area is below the Tree Farm along its southern boundary. Sections of this area are owned either privately or by the U.S. Forest Service. This is area is a biologically diverse riparian habitat on both sides of the Roaring Fork River dominated by narrowleaf cottonwood (*Populus angustifolia*) with a mixed shrub understory (Figure 4). The 1997 Roaring Fork Biological Inventory completed by the Colorado Natural Heritage Program proposes a two mile stretch of the Roaring Fork River, that includes the area below the Tree Farm, as a conservation site because of its natural heritage significance (see Appendix 1 for report and map). This site includes a globally rare and state vulnerable riparian plant community, narrowleaf cottonwood/alder (*Populus angustifolia/Alnus incana*) (Figure 5).

Figure 2



Figure 1





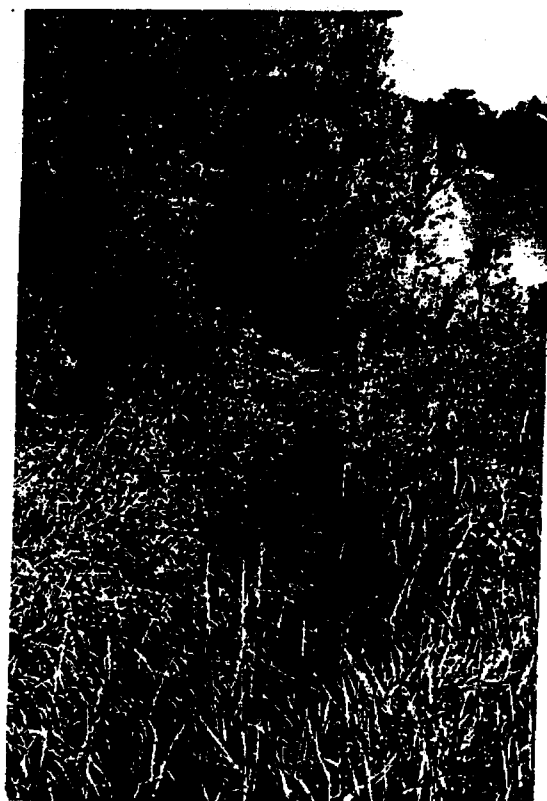
*Figure 3*



*Figure 4*



**Figure 5**



**Figure 6**

In addition to Colorado Natural Heritage recommendation, the riparian area below the Tree Farm is significant because its foliage height diversity provides habitat for a variety of wildlife species not found on the Tree Farm. These include deer, elk, bear, and various birds (see IV. Wildlife Habitats and Species), (Figure 6).

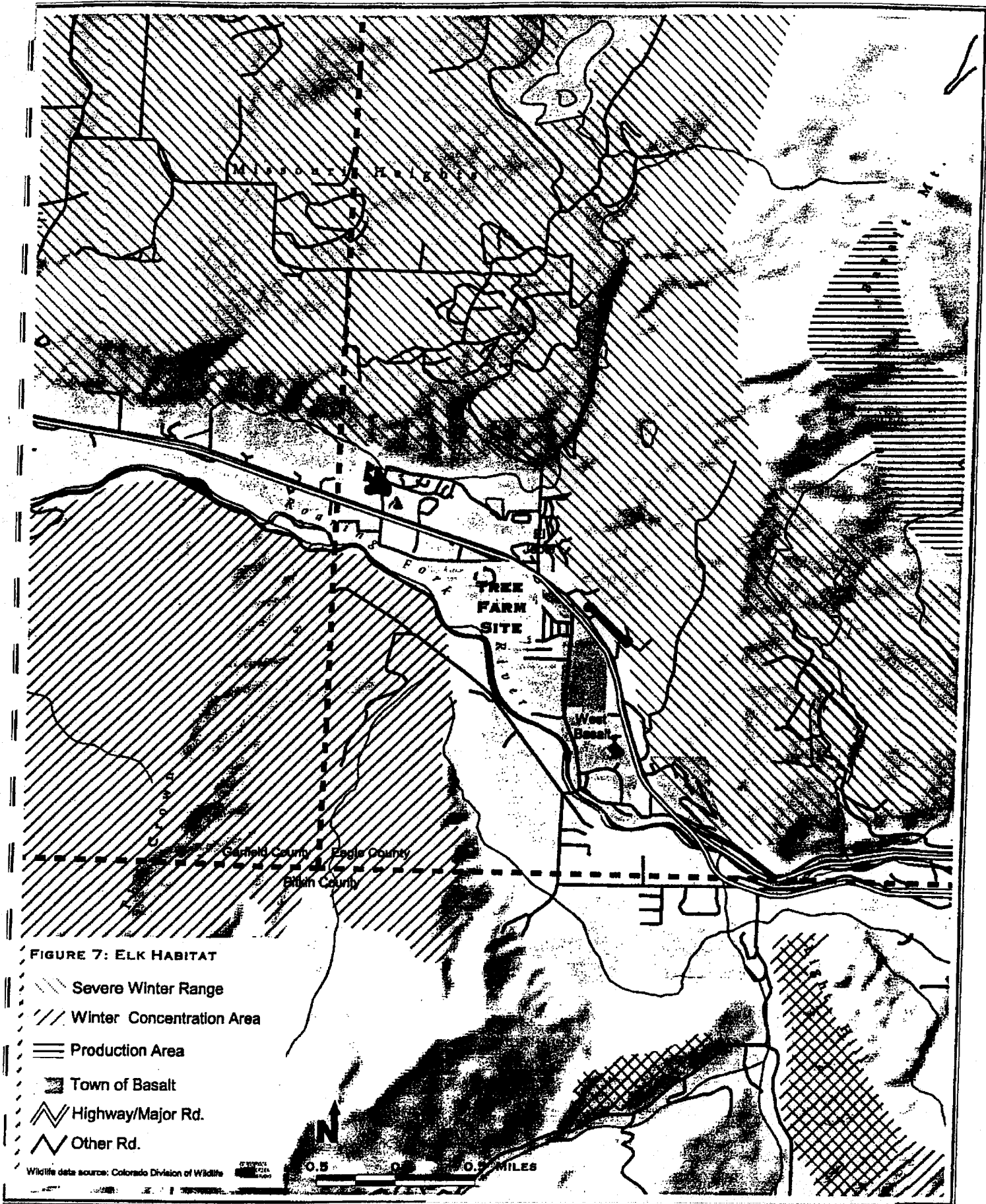
While this ecologically significant area is found outside the boundaries of the proposed Mt. Sopris Tree Farm Final PUD (see Appendix 2 for boundary map of Tract C), its closeness and access from the Tree Farm will have management implications for activities taking place on the property in order to protect its diverse wildlife habitat and species (see V. Enhancement and Management Program).

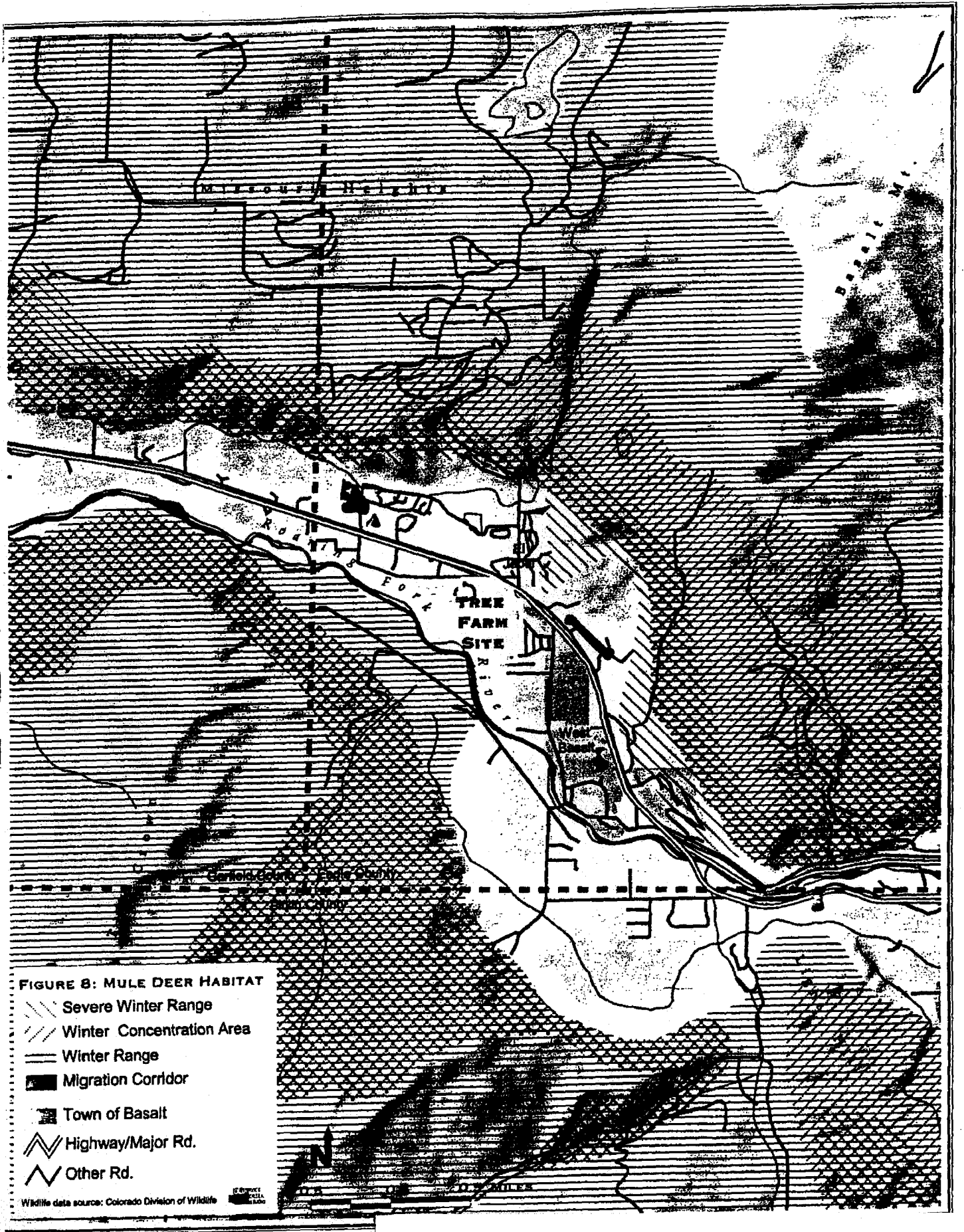
#### **IV. WILDLIFE HABITATS AND SPECIES**

Due to the lack of foliage height diversity and native vegetation, there is almost no habitat for wildlife on the Mt. Sopris Tree Farm property. Foliage height diversity usually provides an array of cover, food, nesting and perching opportunities for wildlife that is lacking at the Tree Farm because of the predominance of the cultivated hay meadows. This situation is further compounded by the lack of wetlands, ponds or streams that would provide water for wildlife. Additionally, the routine haying operation and seasonal grazing has diminished any ground nesting opportunities for birds. A ten-foot high deer fence around the boundary of the property prevents migration of animals across the property.

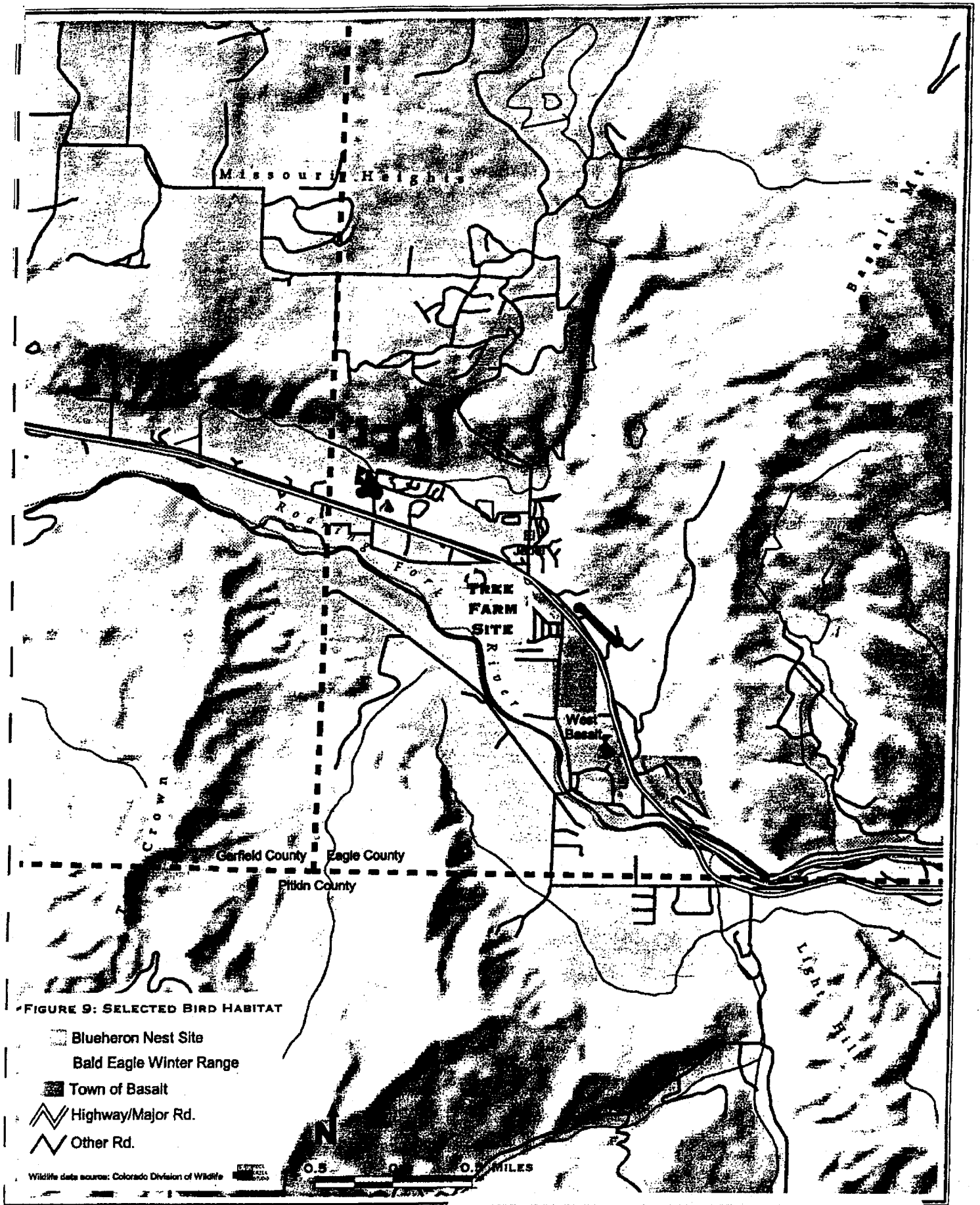
Article 4, Section 4 – 410 (A. – C.), Wildlife Protection, of the Eagle County Land Use Regulations identifies a process to protect and maintain wildlife in Eagle County. This process, discussed below, includes locating potential wildlife habitats within the project area, determining potential impacts from development and lastly, recommending protection strategies for the wildlife species and their habitats. An analysis of the Colorado Division of Wildlife's (CDOW) WRIS maps (Wildlife Resource Information System) for the eight species listed in Section 4 – 410 3 a. – m. of the regulations was conducted. Location of potential habitats on the Mt. Sopris Tree Farm for elk, mule deer, bighorn sheep, bald eagle, golden eagle, peregrine falcon, sage grouse and lynx are discussed below.

**American Elk (*Cervus elaphus*)** – Five critical elk habitats require analysis in Section 4 – 410 C. 3 a. – c. These are elk migration corridors and patterns, production areas, severe winter range and winter concentration areas (see Appendix 3 for CDOW definitions of these habitats). None of these habitats were found on the Mt. Sopris Tree Farm property. Where native vegetation is still intact across the Roaring Fork River to the south of the Tree Farm property, there is WRIS mapped elk winter concentration habitat (Figure 7). To the east of the Tree Farm property by a mile and across Highway 82, there is mapped severe winter range. The barriers created by the river, highway traffic, the ten-foot high











property fence and urbanization dissuade elk from using the property on a regular basis. Elk occasionally feed on hay bales when they are stored on the property, gaining access from a hole in the property fence, but this is not a usual event (pers. comm. Kevin Wright, CDOW).

**Mule Deer (*Odocoileus hemionus*)** - Five critical deer habitats also require analysis in Section 4 - 410 C. 3 d. - e. These habitats are mule deer staging areas, migration corridors, severe winter range, winter range and winter concentration areas. None of these habitats are found on the Mt. Sopris Tree Farm property (Figure 8). Across the Roaring Fork River to the south where there is native vegetation for food and cover, there is mapped winter range, severe winter range and winter concentration areas. On the steep south facing slopes across Highway 82, there are mapped severe winter range and winter concentration areas. These habitats are at least ¼ mile from the Tree Farm. Deer utilizing these habitats do not come down on to the Tree Farm because lack of food and cover, traffic, urbanization and ten-foot high fence make the property unsuitable habitat.

**Bighorn Sheep (*Ovis canadensis*), Sage Grouse (*Centrocercus urophasianus*) and Lynx (*Felis lynx*)** - No habitats for these three species were identified on the Tree Farm property or in a ten-mile radius of the area through an analysis of WRIS data.

**Bald Eagle (*Haliaeetus leucocephalus*), Golden Eagle (*Aquila chrysaetos*), Peregrine Falcon (*Falco peregrinus*)** - Section 4 - 410 C. 3. i. - k. requires an analysis of potential roost and nesting sites for these three bird species. No roosting or nesting sites are known to occur on the Tree Farm property, or in the area surrounding it. Figure 9 identifies bald eagle winter range along the Roaring Fork River, including the area below the Tree Farm. Consideration of the use by eagles of the adjacent river corridor during the winter is important. Bald eagles are listed as threatened by both the Federal and State government. The Colorado Natural Heritage Program (CNHP) lists the bald eagle as state critically imperiled during breeding season, and state rare during the non-breeding season (Colorado NDIS, System for Conservation Planning).

**Other Wildlife Species** - Although the Tree Farm is devoid of habitat requiring analysis in the Land Use Regulations, the cottonwood riparian ecosystem below the property along the Roaring Fork River, does provide a wealth of potential habitat for numerous amphibian, bird, mammal and reptilian species. Identifying and protecting these species will have management implications for some of the recreational activities proposed at the Tree Farm (see V. Wildlife Management and Enhancement Program). Notable among these species, bear, herons and riparian birds, are discussed below.

**Black Bear (*Ursus americanus*)** – An analysis of the WRIS data for bears shows suitable habitat occurring for bears throughout the Roaring Fork Valley. Black bears mobility and versatile diet contribute to their wide distribution. They prefer forested and riparian ecosystems where the flora is diverse and abundant since over 95% of their diet is vegetation. In years when vegetation is scarce due to weather or other factors, bears' range increases in search of food. Occasionally, when vegetation is limited, members of the bear population that reside on the Crown area southwest of the Tree Farm property (approximately 2 –3 miles) come down to the valley floor near El Jebel in search of food (pers. comm. Kevin Wright, CDOW).

**Great Blue Herons (*Ardea herodias*)** – The Roaring Fork River provides suitable habitat for Great Blue herons, whom prefer to reside in shallow water at the edges of streams, rivers, lakes and ponds. Currently, there are approximately 100 Great blue heron rookeries in Colorado. Four of these rookeries occur in the Roaring Fork Valley. The WRIS data shown in Figure 9 identifies one of these four rookeries as abutting the western boundary of the Tree Farm parcel. This nesting site is the Rock Bottom Ranch rookery that is located on the south side of the river. Herons using the Rock Bottom Ranch rookery also utilize the riparian area on the north side of the river below the Tree Farm for feeding and resting from spring - fall. Great blue herons are common in Colorado, but are increasingly being threatened by human disturbance and habitat alteration. They are particularly sensitive during breeding and have been given an imperilment ranking by the Colorado Natural Heritage Program as vulnerable during their breeding season. The Rock Bottom Ranch rookery was recently acquired by the Aspen Center for Environmental Studies, and is being managed for protection of the herons. Future activities at the Tree Farm should foster the stewardship efforts that have begun at this nearby rookery.

**Birds** – During three site visits in September and October 2000, few if any bird species were seen on the Mt. Sopris Tree Farm property. This is due to lack of cover, food and nesting opportunities. As noted above however, the riparian area below the Tree Farm provides many opportunities for wildlife to succeed. Twenty-eight bird species are listed below as common species found in riparian habitats in the Roaring Fork Valley. An additional twenty-five species of birds were detected in riparian-wetland habitats during the Roaring Fork Valley Bird Monitoring Project (1997 Final Report, Appendix 4), for a total of fifty-three bird species found in local riparian-wetland habitats.

**Common riparian bird species in the Roaring Fork Valley:**

- Catbird, Gray
- Chickadee, Black-capped
- Dipper, American
- Flycatcher, Cordilleran
- Flycatcher, Willow
- Goldfinch, American
- Grosbeak, Black-headed
- Heron, Great blue
- Killdeer
- Kingfisher, Belted
- Magpie, Black-billed
- Oriole, Bullock's
- Owl, Great horned
- Sandpiper, Spotted
- Sparrow, Fox
- Sparrow, Lincoln's
- Sparrow, Song
- Sparrow, White-crowned
- Swallow, Tree
- Swallow, Violet-green
- Thrush, Swainson's
- Vireo, Warbling
- Warbler, MacGillivray's
- Warbler, Yellow
- Woodpecker, Downy
- Wood-pewee, Western
- Wren, House

Many of the species listed above are neotropical migratory birds. That is, they spend the winter in Central and South America and their breeding season in the Rocky Mountains. Unfortunately, due mostly to habitat loss, many of the species are declining. Given the diversity of bird species and good quality habitat found adjacent to the Mt. Sopris Tree Farm, protection of these species and their habitat needs to be factored into decisions regarding the development of the property (see V. Wildlife Management and Enhancement Program).

**Conclusion and Potential Impact of Development** - Historical and current uses of the Mt. Sopris Tree Farm has greatly diminished the availability of wildlife habitat for most wildlife species on the property. Critical habitats and species requiring analysis in Article 4, Section 4 – 410 in the Eagle County Land Use Regulations are not present. Elk and mule deer use the property only occasionally. However, with the proposed changes in use of the Mt. Sopris Tree Farm as indicated in the PUD Final application, there will come an accompanying change in use of the property by wildlife. The richness of species adjacent to the Tree Farm presents a number of opportunities and challenges to manage the activities on the Tree Farm in order to avoid detrimental effects to wildlife. Additionally, there is the opportunity to undertake enhancement programs that will encourage wildlife to return to the Tree Farm property. These are discussed below.

## **V. WILDLIFE MANAGEMENT AND ENHANCEMENT PROGRAM**

Objectives for the Wildlife Enhancement and Management Program are described in this section, followed by a list of recommended actions that should be undertaken in order to achieve the objective.

### ***Objective #1 – Reduce Attractiveness of Property for Elk and Mule Deer***

In order to protect elk and mule deer, ensure that development and recreational activities don't draw individual animals or herds onto the Tree Farm property. This objective is proposed due to the increase of recreational activity, traffic, people and dogs that are anticipated with the development of the property. These activities have the potential to be detrimental to elk and deer.

#### ***Recommended Actions:***

1. Maintain and repair holes in the existing ten-foot high deer fence that surrounds the Tree Farm in order to keep elk and mule deer off the property.
2. Remove stored hay bales that are attracting deer and elk on to the property.
3. Limit access to the riparian area below the Tree Farm by allowing only 1 – 2 gates in the fence.
4. Utilize plants that don't attract elk and deer during landscaping (see Appendix 5, Table 1., for a list of recommended plants).



*Figure 10*



*Figure 11*



*Figure 12*

**Objective #2 – Reduce Attractiveness of Property for Black Bears**

In order to protect bears and limit the chance of an encounter with humans, eliminate food sources that bears may find attractive from the property.

***Recommended Actions:***

1. Utilize bear-proof trash containers in order to prevent bears from being attracted to and feeding on rubbish left at the recreational facilities.
2. Maintain and repair holes in ten-foot high property fence in order to help deter bears from coming on to the property.
3. Choose plants during the landscaping phase that are not attractive to bears. Bears are especially attracted to plants that produce nuts, berries and fruits.

**Objective #3 – Protect Heron Rookery**

Limit recreational activities near the heron rookery during the breeding season (Feb. 15 – June 15).

***Recommended Actions:***

1. Prevent construction of additional trails from the Tree Farm down into the riparian area along the Roaring Fork River.
2. Discourage use of the trails going down into the riparian area from the Tree Farm  
by people and dogs during the breeding season.
3. Develop cooperative management plans to protect the rookery in conjunction with the Colorado Division of Wildlife, U. S. Forest Service, private landowners and Aspen Center for Environmental Studies.

**Objective #4 – Protect and Restore Habitat for Birds**

Limit recreational activities during the breeding season in the riparian area and restore native big sagebrush community along the southern boundary of the property. While riparian and wetland habitats support the largest number and greatest variety of bird species, sagebrush plant communities provide habitat for a number of bird species. Along the southern boundary of the Tree Farm parcel outside of the deer fence is a strip of remnant big sagebrush plant community (Figure 10) It serves as an example of what native plant community probably existed on the Tree Farm prior to cultivation, providing the opportunity to restore this native plant community during the development of the Tree Farm. Doing so would increase the habitat for bird species utilizing sagebrush plant communities.

***Recommended Actions:***

1. Close access to the riparian trails from the Tree Farm during waterfowl nesting season (April – May).
2. Broaden existing sagebrush plant community along southern boundary of property (Figure 11).
3. Provide water sources for birds through the installation of a pond and reconstruction of the Robinson Ditch.
4. Increase foliage height diversity by planting a variety of trees and shrubs in order to increase food, nesting and cover opportunities on the property for birds.

***Objective # 5 – Manage Weeds.***

The health and productivity of natural plant communities and wildlife habitats is threatened by the introduction of numerous invasive non-native plants. In response to this growing problem, Eagle County recently adopted a Weed Management Plan (Resolution 2000 – 45) and listed fifteen weed species targeted for increased control efforts. In 1990, the State of Colorado established the Colorado Weed Management Act, and directed all counties in Colorado to prepare and adopt a noxious weed management plan. A number of plant species found at the Mt. Sopris Tree Farm are listed either on the Eagle County or Colorado Noxious Weed lists.

***Recommended Actions:***

1. Implement the Eagle County Weed Management in cooperation with Eagle County staff in order to control weeds and notably, the invasion of Plumeless thistle on the property (Figure 12).
2. Develop and implement a written Revegetation Plan for all disturbed areas prior to commencement of grading or redevelopment activities in order to prevent the spread of weeds on the property and into the adjacent riparian area.
3. Develop strategies with the U. S. Forest Service to control beginning invasions of migrating weeds into the riparian area below the Tree Farm property. Species detected during October 2000 site visits included plumeless thistle, common tansy, common dandelion and common mullein.

***Objective #6 – Create Environmental Education Opportunities***

In order to foster appreciation and understanding of local wildlife, develop an environmental education program at the Mt. Sopris Tree Farm.



***Recommended Actions:***

1. Install Riparian Overlook viewing platforms for birdwatching and other native wildlife watching opportunities.
2. Build an Environmental Interpretive Center.
3. Install interpretive signs along the walking trails near the areas restored with native vegetation.

**Objective #7 – Implementation and Monitoring**

In order to protect and maintain wildlife in Eagle County and at the Mt. Sopris Tree Farm, prepare a written implementation schedule for the Wildlife Management and Enhancement Program prior to construction and development of the property.

***Recommended Actions:***

1. Develop a partnership between the Colorado Division of Wildlife, U. S. Forest Service, Eagle County, private landowners and interested citizens to monitor and evaluate information about wildlife on and adjacent to the property. This group would jointly recommend any modifications to the Wildlife Management and Enhancement Program.
2. Initiate collection of baseline data of seasonal utilization by current wildlife species and numbers in order to gauge effectiveness of Wildlife Management and Enhancement Program.
3. Collect data on elk, deer, bear and bird activities.
4. Collect data on recreational activities in relation to wildlife use.
5. Record and monitor effect of revegetation and landscape improvements.
6. Monitor effectiveness and utilization of pond and irrigation ditch when completed.
7. Monitor construction activities in relation to wildlife use.
8. Provide annual written reports to the County Commissioners on the implementation and effectiveness of the Wildlife Management and Enhancement Program.

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**APPENDIX 1**

**CNHP Proposed El Jebel Conservation Site  
Description and Map**

## APPENDIX 1.

### CNHP Proposed El Jebel Conservation Site Description and Map

El Jebel

**Biodiversity Rank: B4 Moderate significance**  
This site includes a fair occurrence of a globally-rare plant community and an occurrence of the mountain whitefish.

**Protection Urgency Rank: P3**  
Residential development is a definable threat.

**Management Urgency Rank: M3**  
Management actions are needed to maintain the quality of the site. Weed control and restricted recreation access is recommended.

**Location:** Eagle County. Between Basalt Mountain and The Crown along the Roaring Fork River.

**Legal Description:** U.S.G.S. 7.5 minute Leon quadrangle. T8S R87W S 3, 4, 10, 11.

**General Description:** This site includes approximately a two mile stretch of the Roaring Fork River (approximately 6400 feet) between The Crown and Basalt Mountain, southwest of El Jebel. The El Jebel site includes small fragments of riparian communities within developed areas. The river is deeply entrenched for small reaches. Narrowleaf cottonwood (*Populus angustifolia*) with mixed understory dominates both banks of the river along this stretch. Approximately 500 acres are included in this boundary.

**Biodiversity Rank Justification:** This site includes a globally-rare riparian plant community, narrowleaf cottonwood/alder (*Populus angustifolia/Alnus incana*). This plant community is known from 30 locations scattered throughout Colorado. There are poor quality remnant examples of narrowleaf cottonwood/skunkbrush (*Populus angustifolia/Rhus trilobata*) and narrowleaf cottonwood/coyote willow (*Populus angustifolia/Salix exigua*) communities within this site but they are not considered element occurrences according to CNHP methodology. Further surveys, with additional landowner permission, may reveal larger occurrences which would change the importance of this site.

The mountain whitefish (*Prosopium williamsoni*) is known to occur in Roaring Fork River from Glenwood Springs to near Woody Creek, and unverified occurrences have been reported between Woody Creek and Aspen. There are few rivers in Colorado known to contain this fish species. It is mostly restricted to the northwestern portion of the state.

Natural Heritage element occurrences at the El Jebel site.

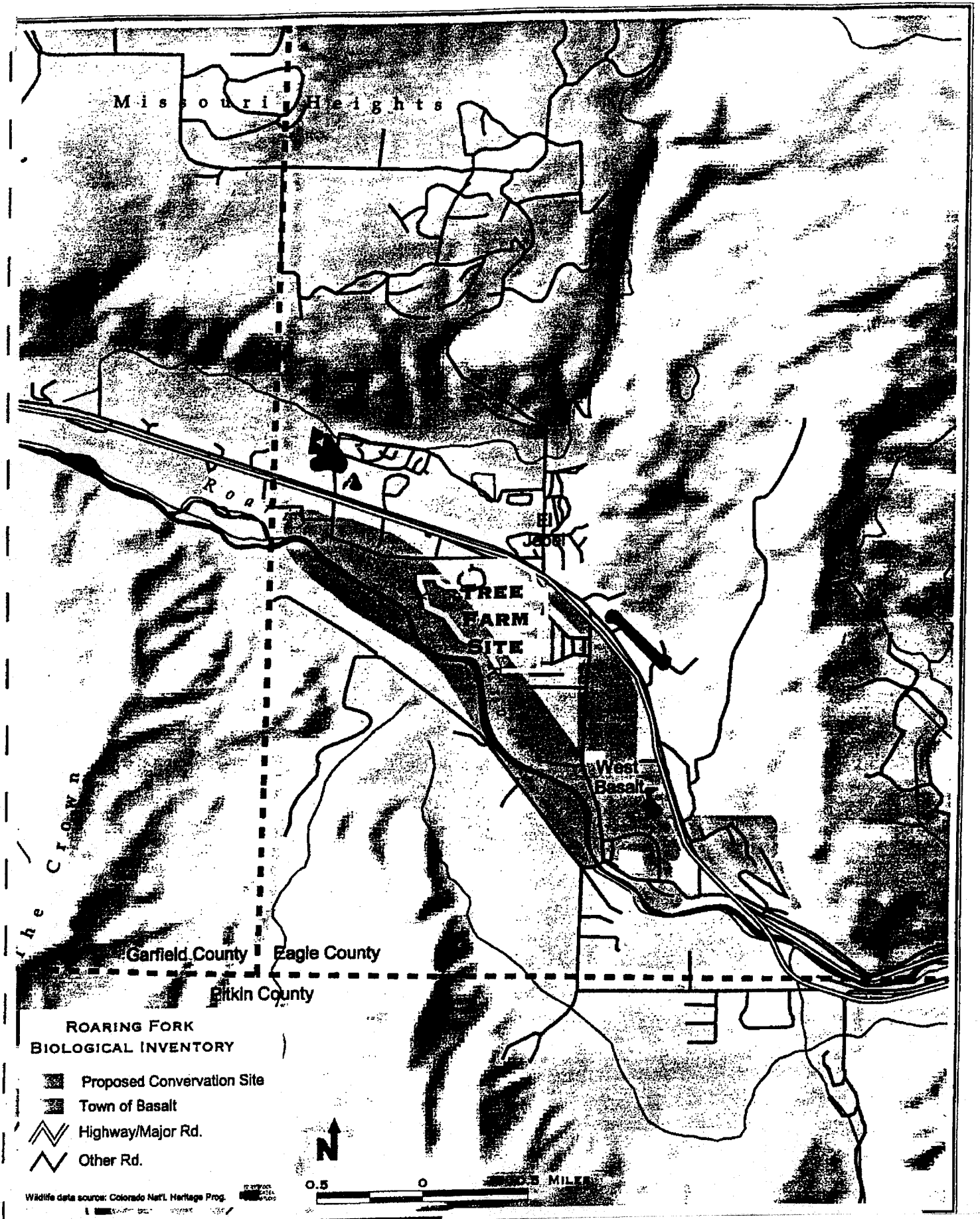
Element	Common Name	Global Rank	State Rank	Federal Status	State Status	Federal Sens.	EO* Rank
<i>Populus angustifolia/</i> <i>Alnus incana</i>	montane riparian forest	G3	S3				C
<i>Prosopium williamsoni</i>	mountain whitefish	G5	S3				

\*EO=Element Occurrence

**Boundary Justification:** The boundary is drawn to protect the occurrences from direct disturbances. Additionally, the hydrologic regime of the area must be protected in order to maintain the quality and long-term viability of the occurrences.

**Protection Rank Justification:** This site is privately owned. Development in the riparian zone is unlikely. However, similar riparian areas along the Roaring Fork have been developed. The land owners future plans are unknown.

**Management Rank Justification:** This site is adjacent to a housing subdivision, human-made ponds, irrigation ditches, and hayfields, which are contributing to an infestation of exotic plant species in the natural riparian vegetation. These weeds should be controlled. Disturbance of this site should be minimized, and may include fencing or restricting human activities. A trail/rail corridor is proposed for the old railroad tracks which run through this site. A 100 foot wide easement is owned by the Roaring Fork Railroad Holding Authority. This 100 foot area may see a lot of disturbance if this project is funded. The riparian plant communities would be highly threatened. Water quality, quantity, and flooding must not be significantly altered. Hydrologic considerations must extend beyond the site boundaries, especially wherever the watershed is not contained in the proposed site.

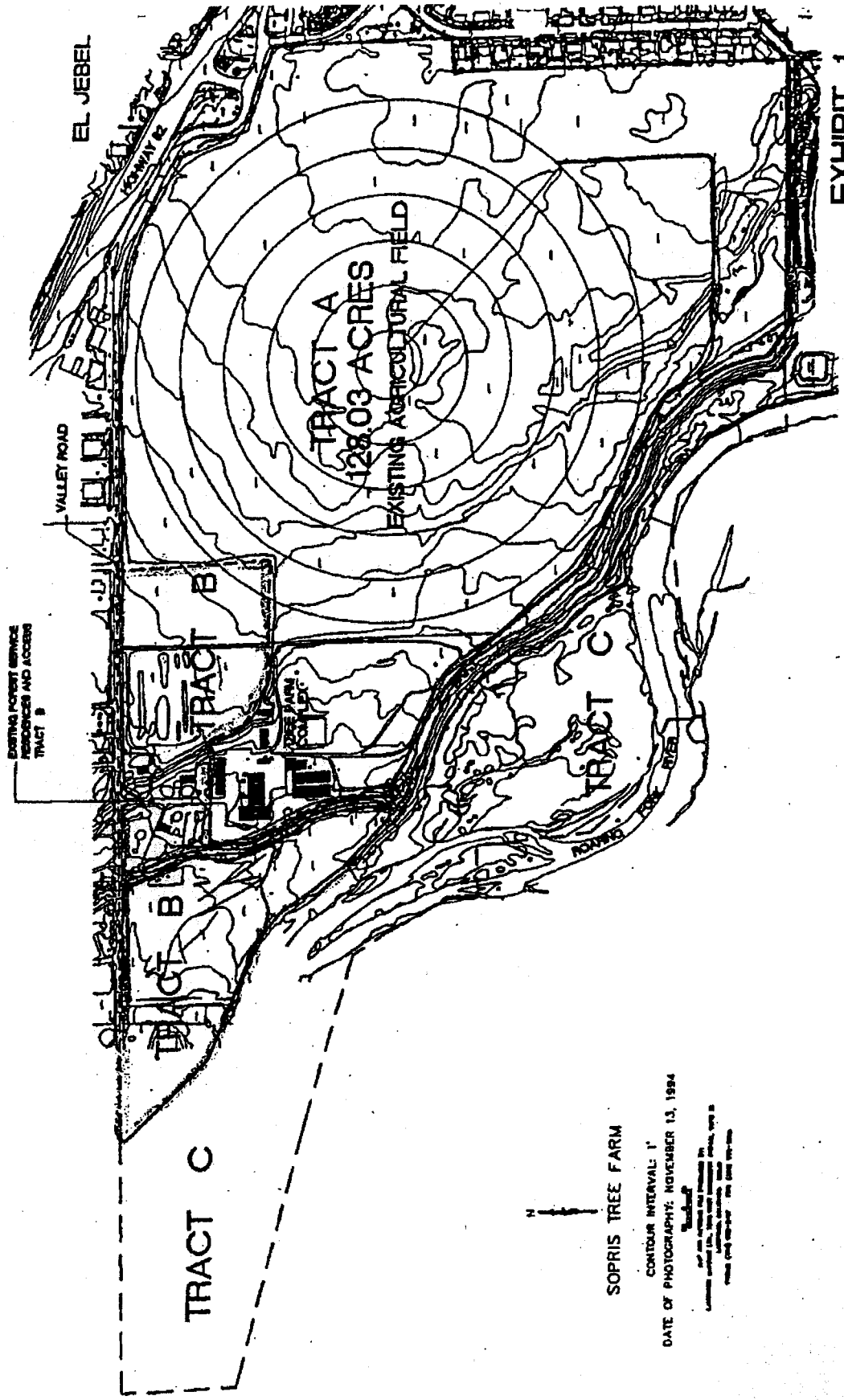


**APPENDIX 2**

**Map of Tract C – U.S. Forest Service Property**

APPENDIX 2.

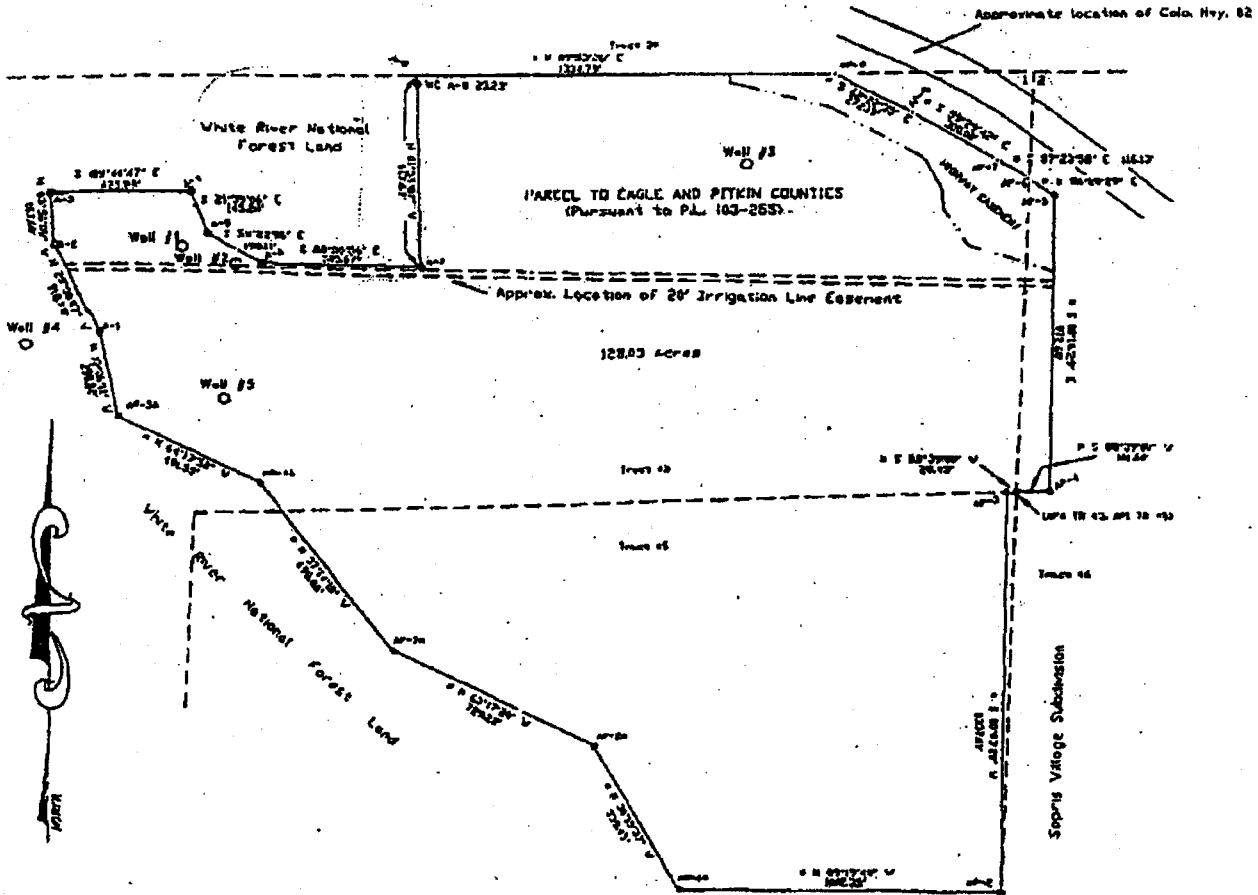
Map of TRACT C - U.S. Forest Service Property





# EXHIBIT A

TOWNSHIP 8 SOUTH, RANGE 87 WEST, 6th P. M.  
 TRACT "A", A Portion of Tracts 43, 45 and 46 of Section 3  
 EAGLE COUNTY, COLORADO

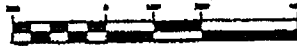


NOTE: Locations of wells and irrigation line easement are approximate

### LEGEND

- G.L.D Brass Cap
- Measurements from 1989 Houser Survey
- 2 1/2" Aluminum Cap marked L.S. 7:35
- 1 1/2" Copper Cap marked L.S. 7:35
- Set Monument
- WC Witness Corner

### SCALE



**APPENDIX 3**

**WRIS Seasonal Activity Area  
Definitions for Elk and Deer**

### APPENDIX 3. WRIS Seasonal Activity Area Definitions for Elk and Deer

Wildlife Resource Information System (WRIS)  
ELK  
Seasonal Activity Area Definitions

**\*\* NOTE \*\***

Not all counties have all activity areas present. Therefore, any number of the following could be found in the corresponding county specific zip file.

**OVERALL RANGE:**

The area which encompasses all known seasonal activity areas within the observed range of an elk population.

**WINTER RANGE:**

That part of the overall range of a species where 90 percent of the individuals are located during the average five winters out of ten from the first heavy snowfall to spring green-up, or during a site specific period of winter as defined for each DAU.

**WINTER CONCENTRATION AREA:**

That part of the winter range of a species where densities are at least 200% greater than the surrounding winter range density during the same period used to define winter range in the average five winters out of ten.

**SEVERE WINTER RANGE:**

That part of the range of a species where 90 percent of the individuals are located when the annual snowpack is at its maximum and/or temperatures are at a minimum in the two worst winters out of ten. The winter of 1983-84 is a good example of a severe winter.

**HIGHWAY CROSSING:**

Those areas where elk movements traditionally cross roads, presenting potential conflicts between elk and motorists.

**MIGRATION CORRIDOR:**

A specific mappable site through which large numbers of animals migrate and loss of which would change migration routes.

**MIGRATION PATTERN:**

A subjective indication of the general direction of the movements of migratory ungulate herds.

**PRODUCTION AREA:**

That part of the overall range of elk occupied by the females from May 15 to June 15 for calving. (Only known areas are mapped and this does not include all production areas for the DAU).

**RESIDENT POPULATION AREA:**

An area used year-round by a population of elk. Individuals could be found in any part of the area at any time of the year; the area cannot be subdivided into seasonal ranges. It is most likely included within the overall range of the larger population.

**SUMMER RANGE:**

That part of the range of a species where 90% of the individuals are located between spring green-up and the first heavy snowfall, or during a site specific period of summer as defined for each DAU. Summer range is not necessarily exclusive of winter range; in some areas winter range and summer range may overlap.

**SUMMER CONCENTRATION AREA:**

Those areas where elk concentrate from mid-June through mid-August. High quality forage, security, and lack of disturbance are characteristics of these areas to meet the high energy demands of lactation, calf rearing, antler growth, and general preparation for the rigors of fall and winter.

**LIMITED USE AREA:**

An area within the overall range which is occasionally inhabited by elk and/or

contains a small scattered population of elk.

**DIGITAL DATA DISCLAIMER:**

This wildlife distribution map is a product and property of the Colorado Division of Wildlife, a division of the Colorado Department of Natural Resources. Care should be taken in interpreting these data. Written documents may accompany this map and should be referenced. The information portrayed on these maps should not replace field studies necessary for more localized planning efforts. The data are typically gathered at a scale of 1:24000 or 1:50000; discrepancies may become apparent at larger scales. The areas portrayed here are graphic representations of phenomena that are difficult to reduce to two dimensions. Animal distributions are fluid; animal populations and their habitats are dynamic.

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Wildlife Resource Information System (WRIS)  
MULE DEER  
Seasonal Activity Area Definitions

**\*\* NOTE \*\***

Not all counties have all activity areas present. Therefore, any number of the following could be found in the corresponding county specific zip file.

**OVERALL RANGE:**

The area which encompasses all known seasonal activity areas within the observed range of a mule deer population.

**SUMMER RANGE:**

That part of the overall range where 90% of the individuals are located between spring green-up and the first heavy snowfall. Summer range is not necessarily exclusive of winter range; in some areas winter range and summer range may overlap.

**CONCENTRATION AREA:**

That part of the overall range where higher quality habitat supports significantly higher densities than surrounding areas. These areas are typically occupied year round and are not necessarily associated with a specific season. Includes rough break country, riparian areas, small drainages, and large areas of irrigated cropland.

**WINTER RANGE:**

That part of the overall range where 90 percent of the individuals are located during the average five winters out of ten from the first heavy snowfall to spring green-up, or during a site specific period of winter as defined for each DAU.

**WINTER CONCENTRATION AREA:**

That part of the winter range where densities are at least 200% greater than the surrounding winter range density during the same period used to define winter range in the average five winters out of ten.

**SEVERE WINTER RANGE:**

That part of the overall range where 90% of the individuals are located when the annual snowpack is at its maximum and/or temperatures are at a minimum in the two worst winters out of ten.

**RESIDENT POPULATION AREA:**

An area that provides year-round range for a population of mule deer. The resident mule deer use all of the area all year; it cannot be subdivided into seasonal ranges although it may be included within the overall range of the larger population.

**LIMITED USE AREA:**

An area within the overall range of mule deer that is only occasionally inhabited and/or contains only a small population of scattered mule deer.

**MIGRATION PATTERN:**

A subjective indication of the general direction of the movements of migratory ungulate herds.

**MIGRATION CORRIDOR:**

A specific mappable site through which large numbers of animals migrate and loss of which would change migration routes.

**HIGHWAY CROSSING:**

Those areas where mule deer movements traditionally cross roads, presenting potential conflicts between mule deer and motorists.

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**APPENDIX 4**

**Local Avian Riparian Species**

**APPENDIX 4. Local Avian Riparian Species**

**LIST OF SPECIES RECORDED AT NORTHSTAR  
RIPARIAN-WETLANDS HABITAT**

**Complete Species List of Birds Detected During Point-Counts:**

American Robin  
Black-billed Magpie  
Broad-tailed Hummingbird  
Common Snipe  
Red-winged Blackbird  
Yellow Warbler  
Song Sparrow  
Band-tailed Pigeon  
Tree Swallow  
Violet-green Swallow  
Ruby-crowned Kinglet  
Sora Rail  
Mallard  
Lincoln's Sparrow  
White-crowned Sparrow  
Pine Siskin  
American Coot  
Chipping Sparrow  
MacGillivray's Warbler  
Brown-headed Cowbird  
Dusky Flycatcher  
Warbling Vireo  
Great Blue Heron  
American Crow  
Olive-sided Flycatcher  
Northern Flicker  
Cordilleran Flycatcher  
Black-headed Grosbeak  
Western Tanager  
Orange-crowned Warbler  
House Wren  
Red-tailed Hawk  
Canada Goose  
Evening Grosbeak  
Western Wood Pewee  
Barn Swallow  
Fox Sparrow  
Stellar's Jay  
Starling



Grey-headed Junco  
Black-capped Chickadee  
Red-breasted Nuthatch  
Bullock's Oriole  
White-breasted Nuthatch  
Belted Kingfisher  
Mountain Chickadee  
Green-winged Teal

**Total # Of Species Detected at Northstar in 1997: 53**

**APPENDIX 5**

**Landscaping Plants and  
Frequency Browsed or Grazed by Deer and Elk**

**APPENDIX 5.**

Landscaping plants and the frequency with which they are browsed or grazed by deer and elk.

**LIFEFORM**

Common Name, *Scientific Name* Browsing Frequency

**TREES**

Alder, <i>Alnus tenuifolia</i>	Sometimes
Apples (most), <i>Malus</i> spp.	Often
Aspen, <i>Populus tremuloides</i>	Often
Fir, Douglas, <i>Pseudotsuga menziesii</i>	Rarely
Hackberry, <i>Celtis reticulata</i>	Sometimes-Rarely
Hawthorne, <i>Crataegus</i> spp.	Rarely
Juniper, Rocky Mountain, <i>Juniperus scopulorum</i>	Often
Maple, box elder, <i>Acer negundo</i>	Rarely
Maple, Rocky Mountain, <i>Acer glabrum</i>	Sometimes
Pine, limber, <i>Pinus flexilis</i>	Rarely
Pine, lodgepole, <i>Pinus contorta</i>	Sometimes
Pine, pinon, <i>Pinus edulis</i>	Rarely
Pine, ponderosa, <i>Pinus ponderosa</i>	Sometimes
Plum, wild, <i>Prunus americana</i>	Sometimes-Rarely
Spruce, blue, <i>Picea pungens</i>	Rarely
Spruce, Engelmann, <i>Picea engelmannii</i>	Rarely

**SHRUBS**

Apache plume, <i>Fallugia paradoxa</i>	Sometimes-Rarely
Bearberry, <i>Arctostaphylos uva-ursi</i>	Sometimes
Buffaloberry, <i>Shepherdia canadensis</i>	Sometimes
Ceanothus, Fendler (Buckbrush), <i>Ceanothus fendleri</i>	Sometimes
Chokecherry, common, <i>Prunus virginiana</i>	Often
Creeper, Virginia, <i>Parthenocissus inserta</i>	Rarely
Currant, golden, <i>Ribes aureum</i>	Sometimes-Rarely
Currant, wax, <i>Ribes cereum</i>	Sometimes-Rarely
Goldenrod, <i>Solidago</i> spp.	Sometimes-Rarely
Holly-grape, Oregon, <i>Mahonia repens</i>	Sometimes-Rarely
Honeysuckle, <i>Lonicera involucrata</i>	Sometimes-Rarely
Ivy, English, <i>Hedera helix</i>	Sometimes-Rarely
Jamesia, <i>Jamesia americana</i>	Sometimes
Juniper, common, <i>Juniperus communis</i>	Rarely
Lead plant, <i>Amorpha fruticosa</i>	Rarely
Licorice, wild, <i>Glycyrrhiza obtusata</i>	Sometimes

Landscaping plants and the frequency with which they are browsed or grazed by deer and elk.

LIFEFORM

Common Name, <i>Scientific Name</i>	Browsing Frequency
Mountain mahogany, curleaf, <i>Cercocarpus ledifolius</i>	Sometimes-Rarely
Mountain mahogany, true, <i>Cercocarpus montanus</i>	Often
Ninebark, <i>Physocarpus monogynus</i>	Sometimes-Rarely
Pine, mugo, <i>Pinus mugo mughus</i>	Often
Potentilla/ Cinquefoil, <i>Potentilla spp.</i>	Rarely
Rabbitbrush, <i>Chrysothamnus nauseosus</i>	Sometimes
Raspberry, <i>Rubus deliciosus</i>	Sometimes
Roses, (most) <i>Rosa</i> and <i>Rosea spp.</i>	Often
Skunk brush, <i>Rhus trilobata</i>	Rarely
Snowberry, western, <i>Symphoricarpos occidentalis</i>	Rarely
Spirea, bluemist, <i>Caryopteris incana</i>	Rarely

FLOWERS

Arnica, heartleaf, <i>Arnica cordifolia</i>	Sometimes
Arnica, orange, <i>Arnica fulgens</i>	Sometimes-Often
Aster, hairy golden, <i>Heterotheca villosa</i>	Sometimes-Rarely
Bedstraw, northern, <i>Galium boreale</i>	Sometimes
Blazing star, <i>Liatris punctata</i>	Sometimes
Bluebells, chiming bells, <i>Mertensia ciliata</i>	Sometimes
Blueberry, <i>Vaccinium spp.</i>	Often
Cactus, prickly pear, <i>Opuntia polyacantha</i>	Sometimes-Rarely
Chickweed, mouse-ear, <i>Cerastium vulgatum</i>	Sometimes
Clover, yellow sweet, <i>Melilotus officinale</i>	Often
Coneflower, prairie, <i>Ratibida columnifera</i>	Sometimes-Rarely
Coneflower, tall, <i>Rudbeckia lacinata</i>	Sometimes
Daffodils	Sometimes-Rarely
Flax, blue, <i>Linum lewisii</i>	Rarely
Fleabane, daisy, <i>Erigeron spp.</i>	Sometimes-Rarely
Gaillardia/Blanketflower, <i>Gaillardia aristata</i>	Rarely
Geranium, wild/ Fremont, <i>Geranium fremontii</i>	Often
Gilia, scarlet, <i>Ipomopsis aggregata</i>	Sometimes
Golden, banner, <i>Thermopsis divaricarpa</i>	Sometimes-Rarely
Goldenrod, Missouri/ smooth, <i>Solidago missouriensis</i>	Sometimes
Gumweed, curly-cup, <i>Grindelia squarrosa</i>	Rarely
Harebell, mountain, <i>Campanula rotundifolia</i>	Rarely
Horsemint/Bergamot, <i>Monarda fistulosa</i>	Sometimes
Houndstongue, <i>Cynoglossum officinale</i>	Rarely
Hyacinth, grape	Sometimes-Rarely
Iris, wild, <i>Iris missouriensis</i>	Sometimes-Rarely
Larkspur, Nelson's, <i>Delphinium nelsonii</i>	Sometimes-Rarely

Landscaping plants and the frequency with which they are browsed or grazed by deer and elk.

LIFEFORM

Common Name, *Scientific Name*

Browsing Frequency

FLOWERS

Lavender	Sometimes-Rarely
Lily, mariposa, <i>Calochortus gunnisoni</i>	Rarely
Locoweed, Lambert, <i>Oxytropis lamberti</i>	Sometimes-Rarely
Lupine, silver, <i>Lupinus argenteus</i>	Sometimes-Rarely
Marjoram	Sometimes-Rarely
Milkweed, showy, <i>Asclepias speciosa</i>	Rarely
Miner's candle, <i>Cryptantha virgata</i>	Rarely
Mullein, <i>Verbascum thapsus</i>	Rarely
Onion, nodding, <i>Allium cernuum</i>	Often
Pasque flower, <i>Pulsatilla patens</i>	Sometimes
Pearly everlasting, <i>Anaphalis margaritacea</i>	Rarely
Penstemon, low, <i>Penstemon virens</i>	Often
Phlox, common, <i>Phlox multiflora</i>	Often
Pussytoes, rose, <i>Antennaria rosea</i>	Sometimes
Rhubarb	Rarely
Sagebrush, pasture, <i>Artemisia frigida</i>	Often
Sagebrush, Wyoming big, <i>Artemisia tridentata</i>	Sometimes
Sagewort, common, <i>Artemisia campestris</i>	Sometimes-Rarely
Salsify, <i>Tragopogon porrifolius</i>	Often
Salvia, <i>Salvia reflexa</i>	Sometimes-Rarely
Santolina	Sometimes-Rarely
Scorpionweed, <i>Phacelia heterophylla</i>	Sometimes-Rarely
Snow-on-the mountain, <i>Euphorbia marginata</i>	Rarely
Solomon seal, false, <i>Smilacina racemosa</i>	Often
Solomon seal, few-flowered False, <i>Smilacina stellata</i>	Sometimes
Spearmint, <i>Mentha spicata</i>	Sometimes
Stonecrop, yellow, <i>Sedum lanceolanum</i>	Rarely
Strawberry, <i>Fragaria</i> spp.	Often
Sulphur-flower, <i>Erigeron umbellata</i>	Rarely
Sunflower, common, <i>Helianthus annuus</i>	Sometimes
Sunflower, low, <i>Helianthus pumilus</i>	Often
Thyme	Sometimes-Rarely
Tulips	Often
Wallflower, western, <i>Erysimum asperum</i>	Sometimes
Yarrow, <i>Achillea lanulosa</i>	Sometimes-Rarely
Yucca*, <i>Yucca glauca</i>	Rarely

\* Flowers are often eaten. The rest of the plant is rarely eaten.

Landscaping plants and the frequency with which they are browsed or grazed by deer and elk.

LIFEFORM

Common Name, *Scientific Name*

Browsing Frequency

GRASSES

Bluegrass, Canada, <i>Poa compressa</i>	Often
Bluegrass, Kentucky, <i>Poa pratensis</i>	Often
Bluestem, little, <i>Schizachyrium scoparium</i>	Rarely
Buffalograss, <i>Buchloe dactyloides</i>	Rarely
Dropseed, sand, <i>Sporobolus cryptandrus</i>	Sometimes
Fescue, king spike, <i>Leucopoa kingii</i>	Sometimes
Grama, blue, <i>Bouteloua gracilis</i>	Rarely
Grama, sideoats, <i>Bouteloua curtipendula</i>	Rarely
Junegrass, prairie, <i>Koeleria cristata</i>	Sometimes
Needle & thread, <i>Stipa comata</i>	Sometimes
Oatgrass, timber, <i>Danthonia spicata</i>	Sometimes
Saltgrass, inland, <i>Dactylis glomerata</i>	Sometimes
Squirreltail, <i>Sitanion hystrix</i>	Sometimes
Timothy, <i>Phleum pratense</i>	Sometimes
Wheatgrass, crested, <i>Agropyron cristatum</i>	Sometimes
Wheatgrass, western, <i>Agropyron smithii</i>	Sometimes